

Plan Commission Agenda



City Hall Council Chambers *via remote access ONLY
203 S. Farwell Street, Eau Claire, WI 54701
October 19, 2020, 7:00 PM

While City Hall offices and meeting rooms remain closed in response to COVID-19, meetings of the Plan Commission are being held virtually through online meeting systems and will be available to the public via *Webex using a computer, tablet or smartphone (requires Webex app), or telephone (audio only) using the link or dial-in number.

Event Address for Attendees:

<https://eauclairewi.webex.com/eauclairewi/onstage/g.php?MTID=eedcfa679edc76899e5bae0ba66b7fd2b>

Audio Only Conference: United States Toll +1-408-418-9388

Access Code: 968 698 389

1. Call to Order
2. Roll Call
3. Approval of October 5, 2020 minutes
4. Open public comment period for items that do not appear on this agenda noted as public hearings or public discussion
5. Public Hearing – For Recommendation to the City Council
Rezoning (Z-1658-19 Amd) – Amend general development plan for mixed-use development known as Prairie Heights Residences
Request: To recommend approval to amend the general development plan for a mixed-use development of a four-story apartment building and a commercial building
Applicant: Gerrard Development LLC
Location: 3301 & 3155 Birch Street
6. Public Hearing – For Recommendation to the City Council
Rezoning (Z-1679-20) – C-2P & R-3P with a General Development Plan for multi-family apartments
Request: To recommend approval of rezoning property from C-2P to R-3P with a general development plan for multi-family apartments up to 56 units
Applicant: Grip Development and Timberview Properties LLC
Location: Southwest corner of North Crossing and Mill Run Road
7. Public Discussion – For Recommendation to the City Council
Certified Survey Map (CSM-10-20)
Request: To recommend approval of a 2-lot CSM with right-of-way dedication
Applicant: City of Eau Claire and Eau Claire Library
Location: 400 Eau Claire Street
8. Public Discussion – For Approval by the Plan Commission
Site Plan (SP-2034)
Request: To recommend approval for a site plan for Dimension X Design
Applicant: Advanced Engineering Concepts
Location: 1262 International Drive
9. Public Discussion – For Approval by the Plan Commission
Site Plan (SP-1921 Amendment #2)
Request: To recommend approval for a site plan for Associated Bank
Applicant: Kapur Inc. & Midland Commercial Development Corp.
Location: 2425 London Road

10. Public Discussion – For Approval by the Plan Commission
Acquisition
Request: To recommend approval for an acquisition and site approval
Applicant: Housing Authority
Location: 3128 Delbert Road
11. Future Agenda Items and Announcements
12. Adjournment

If you have any questions concerning any of the Plan Commission items, please call the Department of Community Development at 715-839-4914. This notice is given in accordance with the provisions of Subchapter V of Chapter 19 of the Wisconsin Statutes. Notice is hereby given that members of the City Council may be present at the foregoing meeting to gather information about a subject over which they have decision-making responsibility. This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d 553, 494 N.W.2d 408 (1993) and must be noticed as such, although the Council will not take any formal action at this meeting. In order to accommodate the participation of persons with special needs at this meeting, the City will provide the services of a sign language interpreter or make other reasonable accommodations on request. To make such a request, please notify the City at 715-839-4902 at least 2 days prior to the meeting.



Eric Larsen, Chairperson

c: News Media

#6 - Z-1679-20

#10 - Acquisition

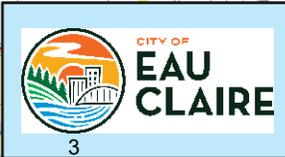
#5 - Z-1958-19 Amd

#7 - CSM-10-20

#8 - SP-2034

#9 - SP-1921 Amd #2

#1 - #4 are Administrative items



Plan Commission 10/19/20 Agenda Items

The site plan notes that the new configuration of the proposed buildings would still be at least 40 feet from any property line and would be approximately 120 feet from the top of the bank of the river. The top of bank is noted on the site plan. The City's Greenway Guidelines (attached) state that buildings should be at least 40 feet from the top of the bank along the river and at least 20 feet from the property line abutting the City property. In addition, parking areas, driveways, decks, and similar land improvements should not be less than 10 feet from the top of bank and property line.

Access to the development would be off of Birch Street. Approximately half of the 113 parking spaces (54) would be underground and 59 spaces would be provided on a surface lot. Site drainage was previously proposed to go to an infiltration basin and wet detention pond located at the southwest portion of the property. Drainage is no longer specified but is required as part of the future Site Plan approval and with the approval of City Engineering.

Changes to the general development plan include separating the commercial uses from the residential by creating a second building at the corner of Birch Street and River Prairie Drive. The applicant also proposes to reduce residential units from 80 to 60 and increase commercial square footage from 9,000 square feet to 10-12,000 square feet. Although parking would be reduced from 117 spaces to 113, 50 more spaces are now proposed to be added to surface parking.

Streets: The site is located in the northeast quadrant of River Prairie Drive and Birch Street. Portions of Birch Street adjacent to this site do not currently have curb and gutter. Sidewalks will be required along all public streets, per City Code, unless a deferral is granted by the City Council. All requests for sidewalk deferral must be made in writing.

Traffic: The zoning of the proposed development (C-3P) permits many different uses with varying traffic generating impacts. The multi-family residential area is estimated to generate approximately 35 to 55 trips during the peak hour. The commercial development could generate between 40 and 145 trips during the peak hour of generation, depending on the actual use. It is recommended that a Traffic Impact Analysis (TIA) be performed on the proposed commercial and multi-family areas when specific uses have been identified and the site plans are submitted for approval. The number, frequency, and type of trip generated by a commercial land use can vary widely. The goal of the TIA should be to indicate the traffic impacts of the development under average traffic conditions and to identify any improvements needed to maintain the existing level of service (LOS) "C" or better. Development agreements for construction of required traffic capacity improvements should be negotiated as part of the site plan or plat or approval/development agreement process. Access to the site will be authorized by the Eau Claire County Highway Department, which follows FDM guidelines for intersections at grade.

Water Main: The existing water main in Birch Street is of adequate size and pressure to serve this subdivision.

Sanitary Sewer: The existing sanitary sewer in Birch Street is of adequate size and depth to serve this subdivision.

Storm Drainage: Due to the grades of the site, the existing public storm sewer system in Birch Street is not a viable option for connecting to. Storm water runoff will either need to be piped to the Eau Claire River for discharge through the adjacent downstream property or a retention pond will need to be constructed on site. Retention criteria will be: Storage volume will be based on detaining the peak discharge from the developed lot, resulting from a 1-% probability design storm event (100-year). Retention design will need to follow the City's snowmelt hydrology procedure. Calculations will need to be provided showing that the storm water detention facility and storm drain piping is adequately sized.

Grading: Portions of the land within this plan have slopes that are steeper than 20%. West Central Wisconsin Regional Planning Commission will coordinate the review and approvals with the Wisconsin Department of Natural Resources.

Transit: This site is located along Bus Routes #4 – Locust Lane and #17 – Altoona.

Development Guidelines for Waterway and Greenway Areas.

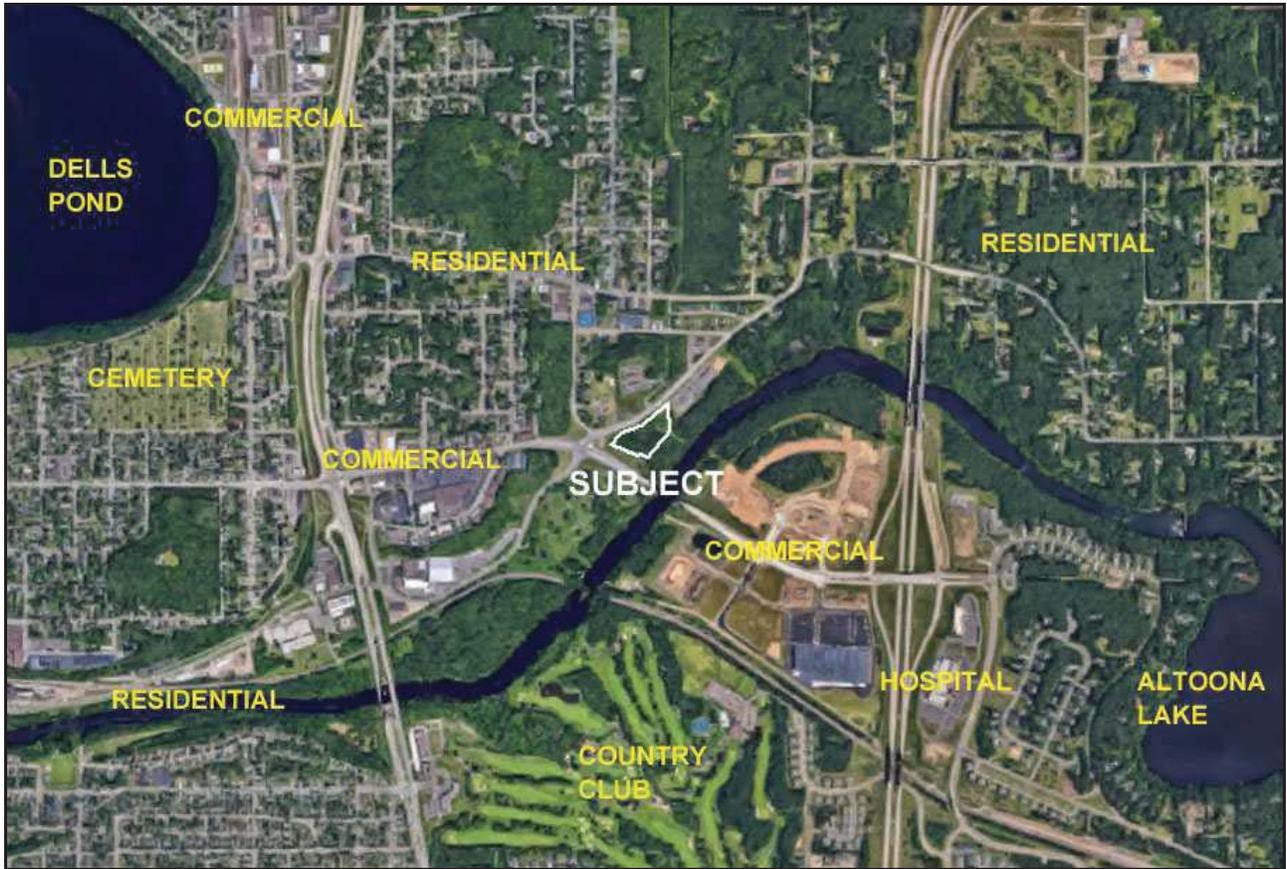
Setback. In order to minimize any adverse effects on the waterway environment and enhance the appearance and image of these areas, it is necessary that development, including structures, parking lots, drives, storage areas, signs, decks, deposition or extraction of materials, etc., be set back from the waterways. Buildings should be set at least 40 feet from the top of bank in order to protect a corridor of trees and other vegetation as well as to soften the view to the building from the water; reductions to this guideline may be granted in the Downtown as outlined in the Waterway Plan. The top of bank will be located by the City Engineer. It is commonly defined as the point at which the slope changes from less than to greater than 20 percent.

Parking areas, driveways, public streets, plazas, decks, and similar land improvements may be located at a reduced setback but not less than 10 feet from the top of the bank or greenway. In locations where there is no top of bank, the setback should be at least 50 feet from the Ordinary High Water Mark (OHWM). Where there is publicly owned land along the waterfront (the Greenway) Buildings or other structures should be located no closer than 20 feet from the land-side edge of property line with such land.

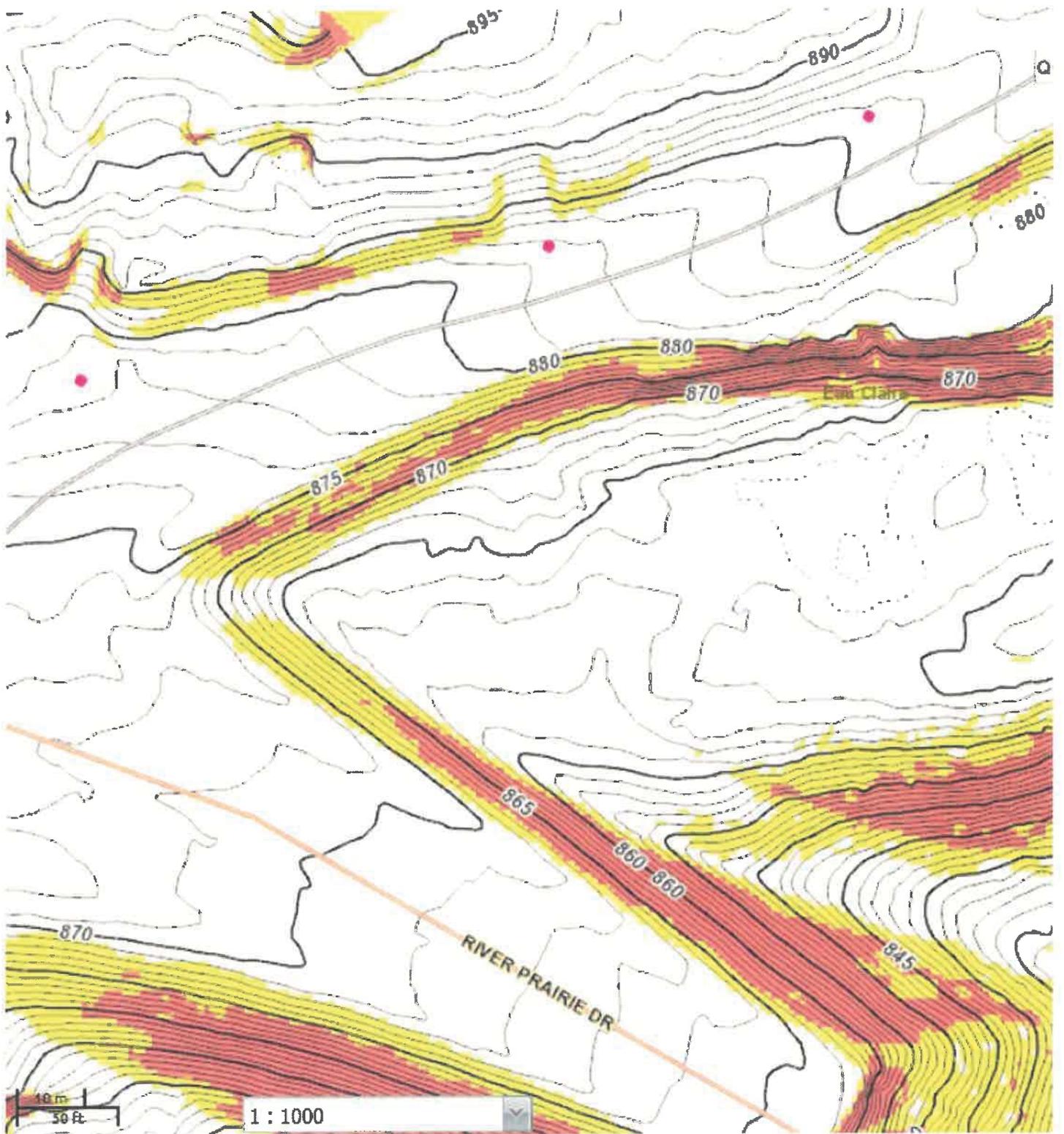
In addition to the guidelines set forth above, site specific characteristics of a particular property as listed below may dictate additional setback:

- The property abuts an especially scenic or natural portion of the greenway and such setback is essential to preserve these areas;
- Slope of the area exceeds 12 percent;
- The property possesses unique or valuable features or resources in which the additional setback is necessary to preserve such features;
- The Eau Claire Waterway Plan identifies an area as proposed greenway and the additional setback is necessary to allow for the eventual extension of the greenway along that portion of the waterway without conflicting with the proposed development;
- The floodplain or shoreland/wetland provisions require additional setback;
- The height or mass of a building which is proposed would have a detrimental impact on the abutting greenway or waterway.

Below are aerial photographs that further detail the site's location and surrounding land uses.







Matt Appel, P.E.

Project Manager

Advanced Engineering Concepts

1360 International Dr, Suite #1, Eau Claire, WI 54701

0 Galloway St
General Development Plan Narrative

1. Vicinity Map – See attached Map/CSM

2. Proposed Timeline – Developer intends on submitting an application to Wisconsin Housing and Economic Development Authority (WHEDA) for an allocation of low-income housing tax credits (Tax Credits) in order to create an affordable housing development on the Property. Both parcels would be combined to create one larger parcel approximately 3.35 acres in size to accommodate a two phase development. A 60 unit 1, 2, and 3 bedroom apartment property with below grade parking garage, the apartment building corridor and garage will be serviced by an elevator for handicapped accessibility, the commercial component will be built simultaneous, this commercial building will be placed at the corner of Galloway and River Prairie Drive to maximize exposure. Closing on the land purchases shall be consummated no later than 60 days after the Developer/Buyer has been awarded Tax Credits by WHEDA. Tax Credit award announcement is expected on or about April 30, 2021. Application for Final Implementation Plan/Site Plan approval shall then follow, and Buyer shall begin construction on improvements at the Property pursuant to an approved site plan within 18 months.

3. Project Narrative – This will be a 2 phase, development with the housing component containing approximately 60 apartments that will include 1, 2 & 3 bedroom apartment units consisting of 15% which would be 3 bedroom units while the remainder would be a combination of 1 & 2-bedroom layouts. These apartments will be targeted to 30%, 50%, 60% and 80% of county median income. These are truly affordable apartments and will be marketed as workforce housing. The goal would be to maximize units with views overlooking the Eau Claire River. Developer envisions 4 stories of dwelling units (1 below street grade, 1 at street grade and 2 above. The Developer anticipates two parking areas one being at grade and the other below grade parking structure that will mitigate the need for a sea of parking. In addition, Developer would create a 2nd building with approximately 10,000-10,500 sq ft of commercial office and retail space which would face River Prairie Dr/Birch St and Galloway St and would include sufficient surface parking to accommodate parking ratios. The total area of the property is 3.34 acres (145,926 sq. ft.). The development will include 26,310 sq. ft. of surface parking lot and driveways, Apartment building footprint is 30,296 sq. ft. and the Commercial building footprint is 6,516 sq. ft. for a lot coverage of 43.3% for all improvements. This leaves approximately 1.9 acres of open space for storm water control, exterior common areas and green space. In addition, the City would be retaining 1.83 acres along the riverfront which will eventually become park and recreation area.

4. Project Specifics – This mixed use development is comprised of two separate buildings. The apartment building takes advantage of the topography of the site to provide ground floor apartments and underground parking garage on the lowest level with 3 stories of apartments above. This building is a curvilinear shape to take advantage of the contour of the site and the vistas towards the Eau Claire River. The apartment mix is 26 – 1 Bedroom, 22 – 2 Bedroom and 12 – 3 Bedroom units within the total building area of 87,140 sq. ft. The commercial building is also designed to take advantage of the sloping site to maximize the leasable space on the two levels. The building is designed as an irregular shape to increase its visual appeal as the cornerstone of the development at this intersection. The footprint of the building is 6,516 sq. ft. and would consist of approximately 10-12,000 sq ft of office/retail space at street grade and would face south/west along the vehicle/pedestrian traffic corridors and controlled intersection. The apartment building would not exceed 45 ft in height and would have a flat roof with provisioning for a roof top solar array. The building façade would include a combination of decorative precast panels, brick, artificial stone and other complimentary siding products.
5. Planned Development Reason – The Developer has 30 plus years of experience in successfully developing Tax Credit projects throughout the entire Midwest and most predominantly in Wisconsin. The Planned Development process would allow for the most flexibility in site design and provide for the most functional arrangement of land use and density while preserving environmental sensitive areas and promoting alternative transportation methods including connections to recreation trails and bus routes. This high exposure site is a gateway to the City of Eau Claire and having a well-planned design is important for all stakeholders. This would also support the Mission to create more affordable housing in an area that currently lacks this type of housing stock.
6. The developer has been working with a local civil engineering firm. They have confirmed that the required public utilities of sanitary sewer, water, gas and electricity are available at the site. Storm water will be designed to meet the local and state regulations for the control and release in a controlled and manageable manner. There will be greater than 1 acre of soil disturbed with the construction of this development, therefore it will receive oversight by the DNR to ensure compliance.
7. The development will be created by an LLC, the LLC will be formed when the tax credit project is awarded 2021 federal tax credits. The entities will be created to allow the majority ownership interest to the investing partner member. The general partner will own a small interest and be responsible for construction, marketing, and long-term tax credit guarantees. This project will include community space, recreation space,

commercial office component, and below grade parking. Please see the site plan or specific questions.

8. As mentioned in the prior statement this development is pursuing federal tax credits administered through the Wisconsin housing and economic development Authority for 2021. When successful the development will enter into a recorded land-use restriction agreement with the state of Wisconsin, this agreement, the development will need to adhere to those long-term restrictions. Those income and rent restrictions will only govern the housing portion of this development. Upon availability we will provide this LURA to the city of Eau Claire for review.
9. Brad.
 - A. Included in this submission are the offers to purchase that include an option by each seller to the development company making this application. See submitted offers.
 - A1. 9 A parcel owned by Eau Claire River partners LLC see attached deed and legal description , 9 B 2nd parcel owned by city of Eau Claire. See attached option agreement or agreement to purchase.

A2, Eau Claire River partners LLC see attached
 - B. Prairie Heights LLC,
 - C. Please refer to the two offers to purchase enclosed and part of 9 A and B
 - D. Gerard development LLC, 100 North 6th La Crosse, WI 54601 September 14, 2020.
 - E. The development will not include any public utility easements other than what already currently exists, the services will be located on the west side of the development. If necessary, the development will utilize a grinder pump for sewer services that will be owned by the development, if necessary.
 - F. Connection to the public street will be provided by a privately owned driveway for vehicular traffic. Please see the site plan for sidewalks and parking and access to lower levels or residential housing units.
 - G. Please see the site plan for specific drainage, the drainage on the property will be to the north and south around the building.
 - H. Multiple storm water control areas will be engineered and located at appropriate locations on the site to maintain water quality and meet allowable discharge quantities consistent with DNR stormwater controls.
 - I. We intend to build 2 buildings that will have 2 separate ownership entity's. The development will include continuation and connection to the existing city bike/walking trail system, community space, parking lots, parking garages, playground areas, and community space for the residents as well as the commercial tenants. The development operating budget also includes the maintenance and long-term care of these areas including necessary replacements, as needed. Please

see site plan for specific additional questions. The commercial component will work out a maintenance agreement with the apartment project for long-term exterior care. This will help the apartment project create additional income for operations.

- J. Please refer to the attached site and proposed building layout plans. The apartment building will be 3 stories (approximately 33') above street grade with a flat roof and stepped perimeter parapets. The commercial building will be a single story above street grade with a low slope decorative steel roof with a ridge height of approximately 14 – 15'. The principal entrance to each building will face the core of the site and parking areas.
- K. The buildings have been located on the site plan with a minimum setback of 40' from River Prairie Drive, Birch Street and all property boundary lines. The layout also conforms to the City's required setback from the top of the steep slopes as depicted on the site layout.
- L. On-site parking has been calculated and sized to meet the city requirement of 1 stall per bedroom and 1 space per 300 sq. ft. of office. The calculation accounts for the 15% reduction allowed for the use of bikes and public transportation. A total parking count of 113 has been calculated and is provided by 54 underground parking garage stalls and 59 surface parking stalls.
- M. As previously mentioned above, this development will include a 2 buildings that include multiple family, and a commercial component standalone building.

Building number one will include Housing, all floors, directly to the east on the lower level below grade we will include apartments that have direct access to parking structure below and individual entrances on the exterior side.

Commercial component located at the very corner at River Prairie Drive and Birch, this will maximize exposure and will aid in the success of the building's location. The 2 buildings will share a common driveway and parking lots. The details of those easements and agreements will be provided later.

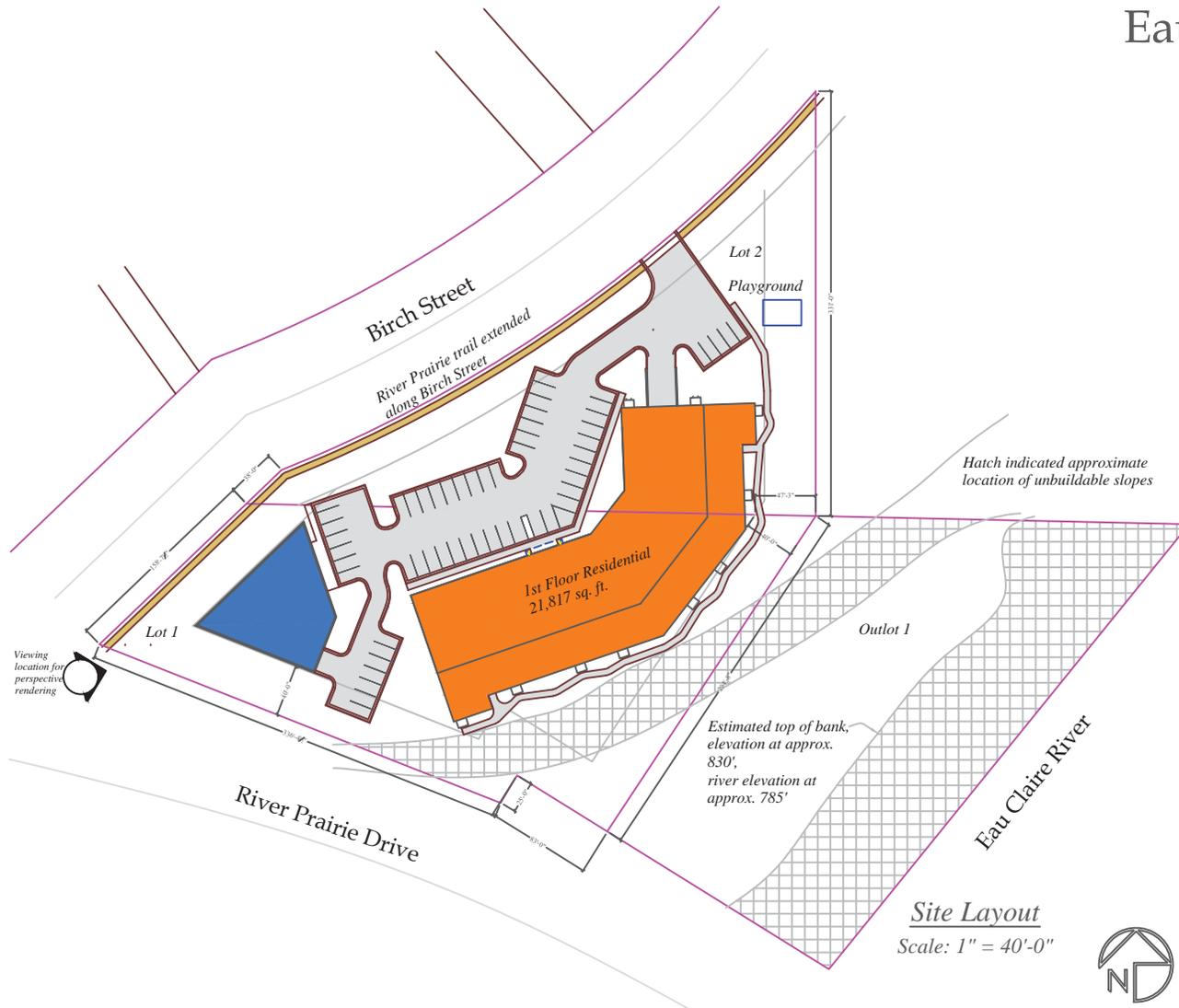
Community recreation space located, on the site plan and on each of the three floors of the residential building.

A site manager's office located on first floor.

Below grade parking and storage for residential housing units.

Prairie Heights Residences

Corner of River Prairie Dr & Birch St
Eau Claire, Wisconsin



Project Calculations:

Property Size = 145,926 sq. ft. (3.35 acres).
 Lot 1 = 86,055 sq. ft.
 Lot 2 = 59,871 sq. ft.

Lot Coverage: 63,122 sq. ft. (43.3% coverage, balance is open).
 Parking Lot & Drives = 26,310 sq. ft.
 Apartment Building = 30,296 sq. ft.
 Commercial Building = 6,516 sq. ft.

Stand Alone Commercial Office and Multi-Family Residential with Underground Vehicle Parking:

- R-2 Multi-family Residential occupancy
 Type 5A - Combustible, Unprotected Construction
 4 story above grade plane
 Full NFPA 13 Fire Sprinkler system

- S-2 Low Hazard Storage Occupancy (Parking Garage)
 Type 2B - Non-Combustible, Unprotected Construction
 2 story above grade plane
 Full NFPA 13 Fire Sprinkler system

- B Business Occupancy (9,168 sq. ft.)
 Type 5B - Combustible, Unprotected Construction
 1 story at grade
 Full NFPA 13 Fire Sprinkler system

Multi-Family Residential Building

Ground Floor Parking & Apts = 30,296 sq. ft.
 First Floor Apartments = 19,062 sq. ft.
 Second Floor Apartments = 19,062 sq. ft.
 Third Floor Apartments = 18,720 sq. ft.
 Bldg Footprint = 30,296 sq. ft. Bldg Total Area = 87,140 sq. ft.

Residential Units Allowed per MX zoning = 21 per acre plus 25%
 3.35 x 21 x 1.25 = 87.9 units allowed

60 Residential Units: (10% reserved for homeless)
 26 - 1 Bedroom (670 sq. ft.)
 22 - 2 Bedroom (964 sq. ft.)
 12 - 3 Bedroom (1,232 sq. ft.)

On Site Parking Requirement Calculation:
 (1 space per bedroom & 1 space per 300 sf of office)
 26 (26 - 1 Bedroom, 4 handicap, 4 homeless)
 44 (22 - 2 Bedroom, 3 handicap, 3 homeless)
 36 (12 - 3 Bedroom, 1 handicap, 1 homeless)
 27 (8,000 sf / 300 sf/vehicle, commercial)
 133 Parking requirement per base ordinance
 -20 (less 15% for bikes & public transportation)
 113 Total Parking Requirement

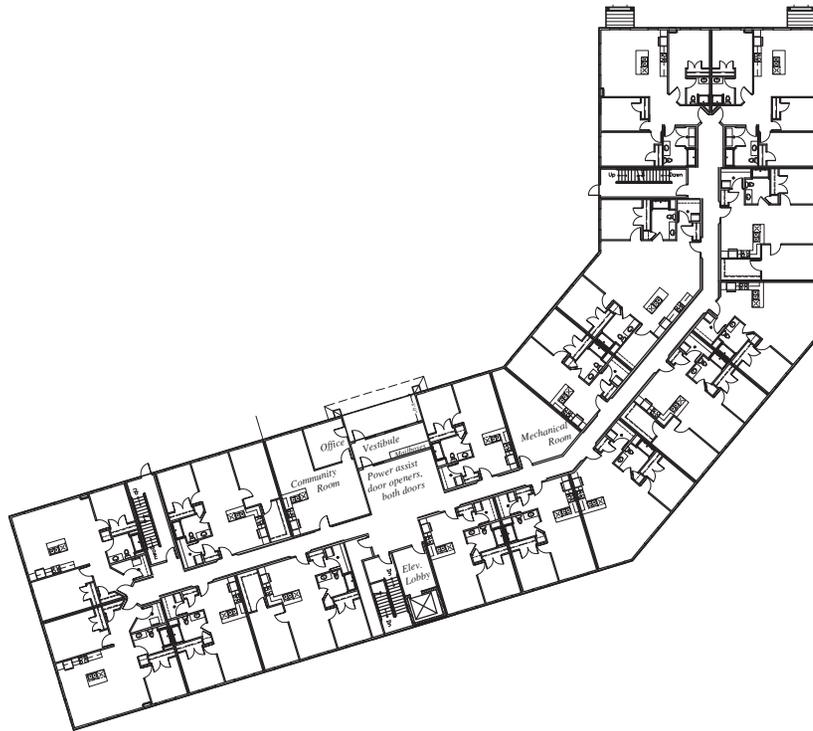
On Site Parking Provided:
 54 - Underground parking stalls (1 HC van accessible)
 59 - Site Parking (1 HC van accessible)
 113 - Total Parking stalls

General Contractor:
 Gerard Development, LLC
 100 S. 6th Street, North - Suite A
 La Crosse, Wisconsin 54601
 Phone: 608/782-4455
 Website: www.gerrarddevelopment.com

Comerstone Architects, LLC
 "Designing the Future"
 PO Box 285, Eau Claire, Wisconsin 54601
 Phone: 608/782-4455
 Website: www.comerstone.com

Gerard Development, LLC
 Prairie Heights Development, 2020
 River Prairie Drive, Eau Claire, WI 54702

Sheet No.	Scale	Date	Author	Checker	Reviewer	Revision
A1	1" = 40'-0"	08/23/20				



1st Floor Plan
Scale: 1/16" = 1'-0"

1st Floor Details:

1st Floor Residential = 19,062 sq. ft.

16 Apartment Units:

- 7 - 1 Bedroom (670 sq. ft.)
- 7 - 2 Bedroom (964 sq. ft.)
- 2 - 3 Bedroom (1,232 sq. ft.)



Ground Level Floor Plan
Scale: 1/16" = 1'-0"

Ground Floor Details:

Ground Floor Footprint = 30,296 sq. ft.
Residential = 11,234 sq. ft.
Parking Garage = 19,062 sq. ft.

8 Apartment Units:
8 - 3 Bedroom (1,232 sq. ft.)

53 Parking Stalls (9'-6" x 19')
1 Handicap Van Accessible Stall (11' x 19')

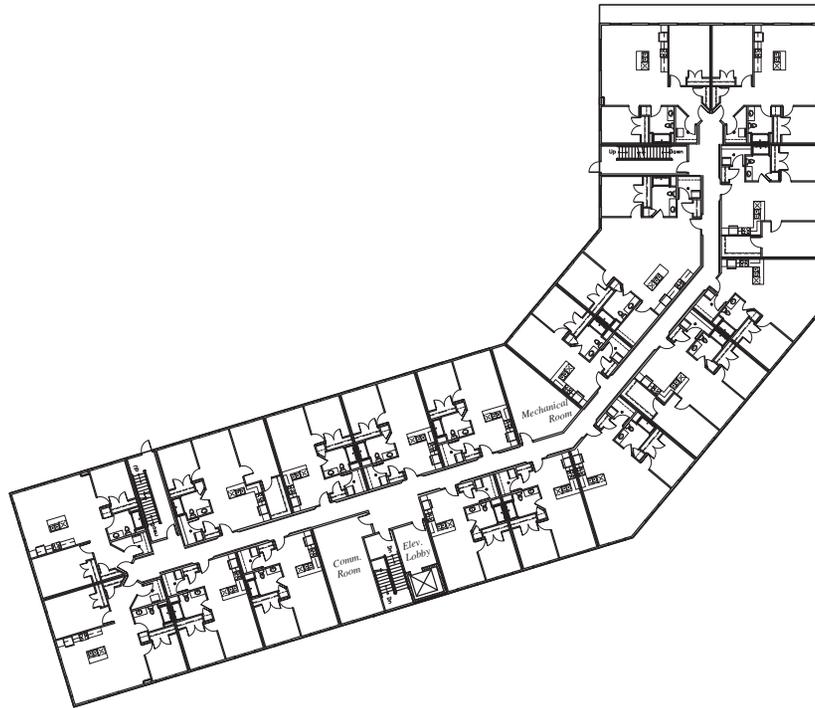
General Contractor:
Gerard Development, LLC
100 6th Street, North - Suite A
La Crosse, Wisconsin 54601
Phone: 608/782-4488
Website: www.gerarddevelopment.com

Comerstone Architects, LLC
"Designing the Future"
PO Box 285
Tremont, Wisconsin 54681
Phone: 608/782-4488 Email: t.comerstone@comerstone.com

Gerard Development, LLC
Prairie Heights Development, 2020
River Prairie Drive, Eau Claire, WI 54702

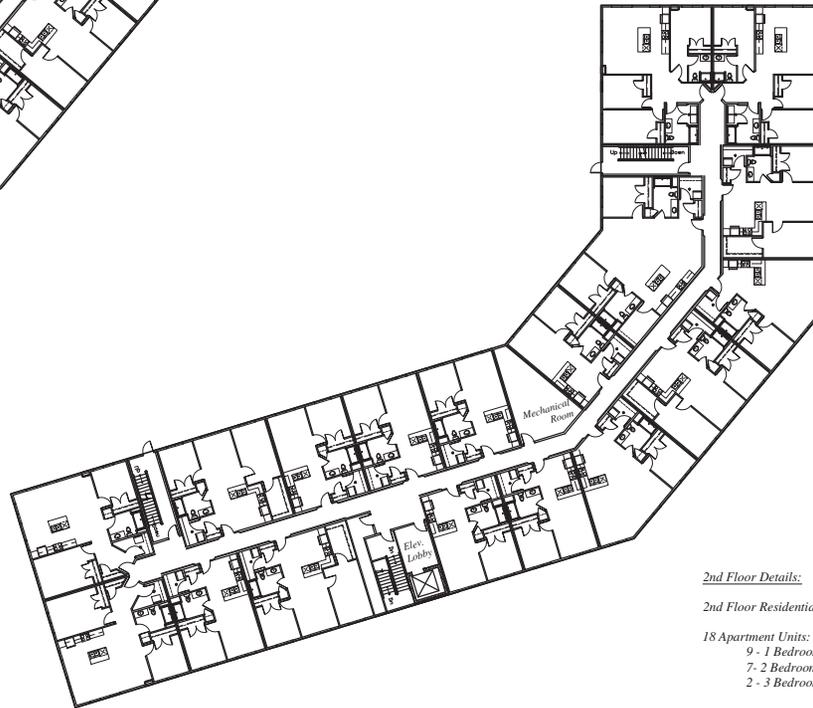
Rev.	Date	By	Check	As Shown	Reason	Scale
1	08/23/20	TC				1/16" = 1'-0"

Sheet No. **A2**



3rd Floor Plan
Scale: 1/16" = 1'-0"

3rd Floor Details:
3rd Floor Residential = 18,720 sq. ft.
18 Apartment Units:
10 - 1 Bedroom (670 sq. ft.)
8 - 2 Bedroom (964 sq. ft.)
0 - 3 Bedroom (1,232 sq. ft.)

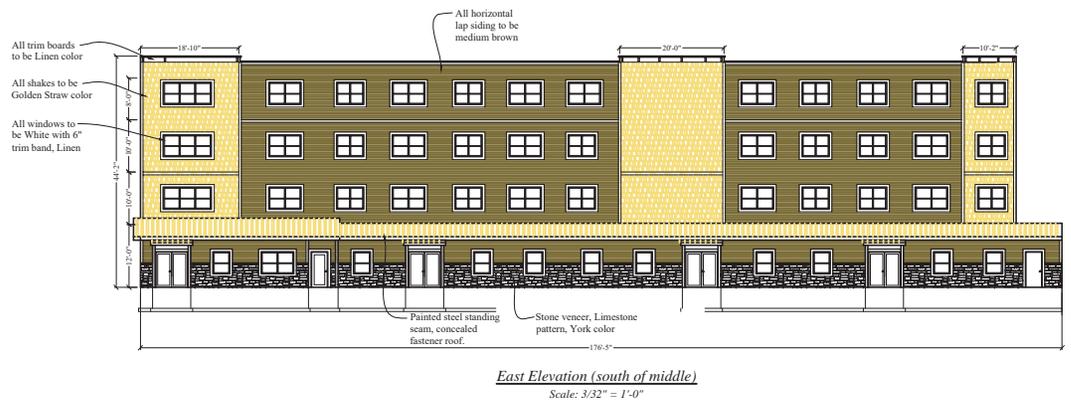
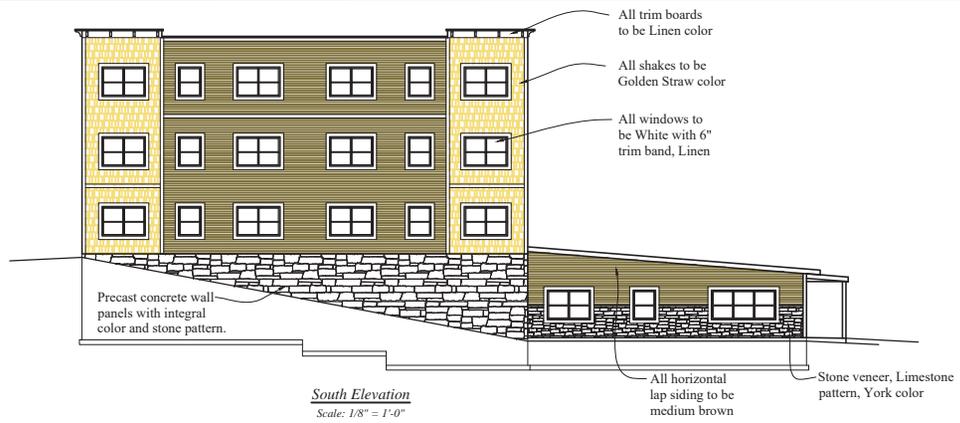


2nd Floor Plan
Scale: 1/16" = 1'-0"

2nd Floor Details:
2nd Floor Residential = 19,062 sq. ft.
18 Apartment Units:
9 - 1 Bedroom (670 sq. ft.)
7 - 2 Bedroom (964 sq. ft.)
2 - 3 Bedroom (1,232 sq. ft.)



<p>General Contractor: Gerard Development, LLC 1000 6th Street, North - Suite A La Crosse, Wisconsin 54601 Phone: 608/782-4488 Website: www.gddevelopment.com</p>	
<p>Project: Prairie Heights Development, 2020 River Prairie Drive, Eau Claire, WI 54702</p>	
<p>Architect: Comerstone Architects, LLC "Designing the Future" PO Box 284, 801 W. Wisconsin Street Tomah, Wisconsin 54687 Voice: 608/843-8300 Email: tomah@comerstone.com</p>	
<p>Sheet No.: 2nd & 3rd Floor Plans</p>	<p>Scale: 1/16" = 1'-0"</p>
<p>Date: 08/23/20</p>	<p>Revision: 01</p>
<p>Sheet No.: A3</p>	



Cornerstone Architects, LLC
"Designing the Future"
 1000 29th St. W. Wisconsin Street
 Fennell, Wisconsin 54860
 Phone: 708.207.4289 Email: info@cornerstonepa.com

Gerrard Development, LLC
 Prairie Heights Development, 2020
 River Prairie Drive, Eau Claire, WI 54702

Project	
Architect: Cornerstone Architects, LLC	Client: Gerrard Development, LLC
Drawn: AS/MSK	Scale: AS/MSK
Date: 08/23/20	Project No: 19-03
Lot Number: Δ	Revision Date: 08/23

A4



Z-1658-19 Amd

Aerial Map

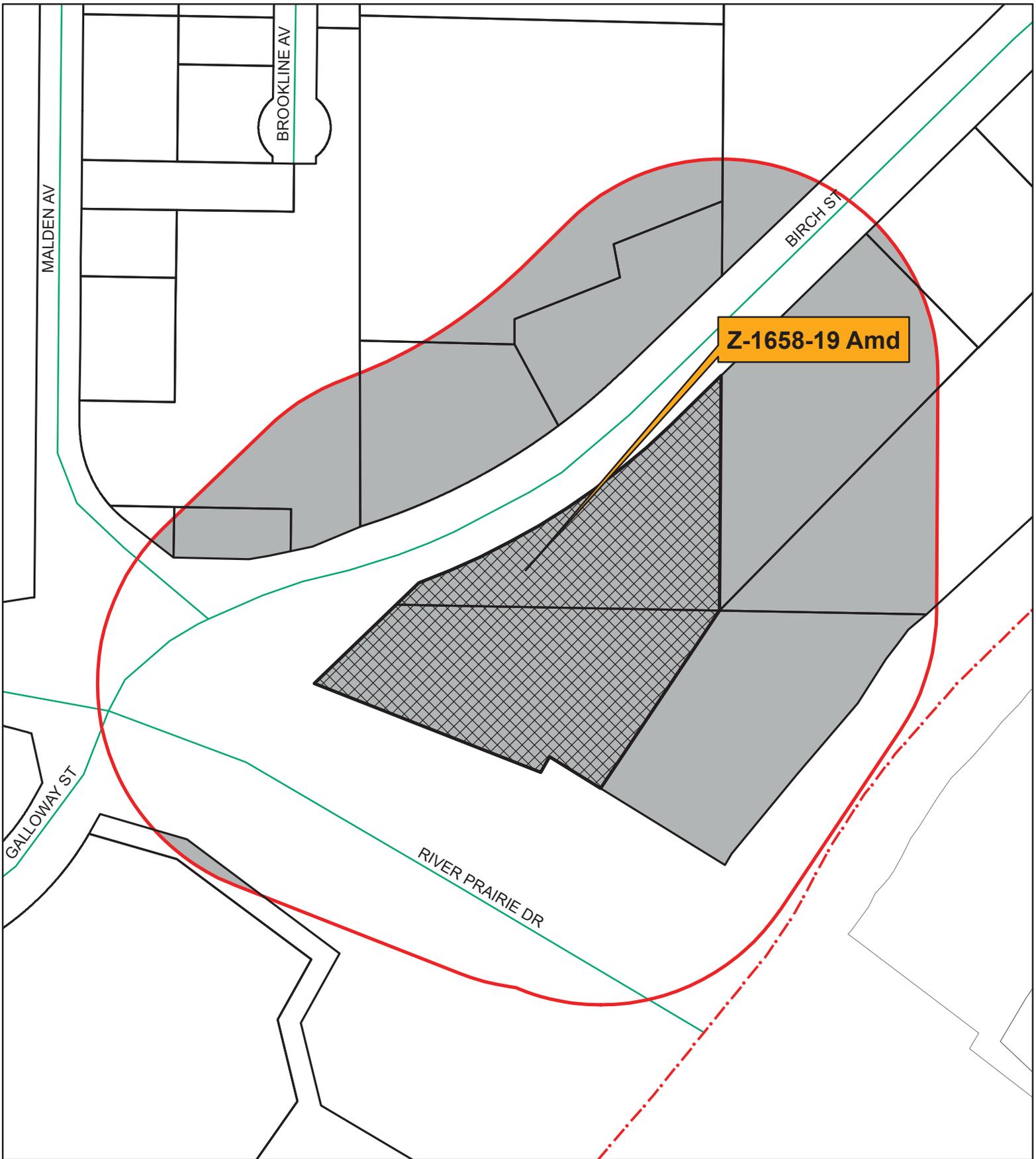
Agenda Item: Z-1658-19 Amd

Address: Corner of Birch St. & River Prairie Dr.

Parcels #: 10-1161-B & 10-1456



-  Subject Property
-  City Limits



Notification Map
 Agenda Item: Z-1658-19 Amd
 Address: Corner of Birch St. & River Prairie Dr.
 Parcels #: 10-1161-B & 10-1456

-  Subject Property
-  Buffer
-  Notified Properties
-  City Limits



Zoning: The Comprehensive Plan designates this site as being appropriate for commercial development. The Comprehensive Plan text states the following:

In areas designated as Commercial on the Planned Land Use Map, the city will consider residential zoning based on the following:

- *An attractive urban residential environment is created.*
- *A comprehensive and holistic approach is key to planning the vicinity that may result over time in additional retail, office or residential investments.*
- *The commercial and residential components of the area are designed to appear and function as an integrated whole through building location, size, orientation and materials, access, parking, sidewalks, landscaping, and lighting.*
- *Negative effects on nearby existing housing are mitigated.*
- *Nearby roads and intersections can accommodate the increased traffic while maintaining an acceptable level of service.*
- *Surface water is managed according to the requirements of the City*

For this request, the property is near commercial development to the west and north, while residential development is to the east and south of the site.

General Development Plan: The preliminary site plan shows the layout of the proposed project. The narrative notes the building will be two stories consisting of 1-bedroom and 2-bedrooms up to 56 total dwelling units. The applicant explains the location chosen has easy highway access and accessibility to larger employers, making the apartments affordable. A certified survey map is required to divide the existing Kwik Trip store and this new multi-family development. Staff did receive a few phone calls about the proposed development regarding the concept of the proposal. The general development plan shows three new driveways proposed onto Stonewood Drive, which with the approval, the Plan Commission and Council can reduce the number down two total driveways. This will reduce the number of traffic movements onto Stonewood Drive. A final site plan approval would be required for Plan Commission review at a later date.

Streets: The existing portion of Stonewood Drive adjacent to this development extends to roughly 60% of the frontage. Sidewalks will be required along all public streets, per City Code, unless a deferral is granted by the City Council. All requests for sidewalk deferral must be made in writing.

Traffic: The zoning of the proposed development (R-3) permits building of low-rise multi-family housing. The R-3 residential area proposal is to have up to 56 units. This could generate between 45 to 90 trips during the peak hour, depending on actual number of residents/dwelling units built. Pending the final site layout and estimated trip generation, an abbreviated traffic impact analysis (TIA) may be requested. The goal of the TIA should be to indicate the traffic impacts of the development under average traffic conditions and to identify any improvements needed to provide a level of service (LOS) "C" or better. Development agreements for construction of required traffic capacity

improvements should be negotiated as part of the site plan or plat or approval/development agreement process.

Highway Noise: The proposed development is adjacent to State Highway 312. The highway existed prior to the development of the property into residential lots; therefore, in accordance with Trans 233, the Department of Transportation will not be responsible for any noise barriers for noise abatement. The CSM will contain a notation that the lots may experience noise at levels exceeding the level in Trans 405.04, Table 1, and that the Department of Transportation is not responsible for abating noise from an existing state trunk highway. Consideration should be given by the developer to noise abatement treatment such as earth berms and vegetation along the north boundary of the proposed site.

Water Main: The existing water main in Stonewood Drive is of adequate size and pressure to serve this development.

Sanitary: The existing sanitary sewer in Stonewood Drive is of adequate size and depth to serve this subdivision.

Storm Drainage: The closest storm sewer to serve this area is located adjacent to this site within Stonewood Drive. This site was included in the sizing of the adjacent storm water facility on the south side of Stonewood Drive. Onsite detention will not be required. Water quality BMP's will be required to reduce Total Suspended Solids by 80% for infill development greater than one acre.

Grading: No grading plans have been submitted at this time.

Transit: Transit does not currently serve within one mile of this area.



September 18, 2020

Ryan Petrie, Associate Planner

City of Eau Claire

203 S. Farwell Street

Eau Claire, WI 54702-5148

Dear Mr. Petrie,

Enclosed is our client's application for a re-zone request to allow for low rise multifamily use at the property located to the east of the new Kwik Trip off North Crossing on the corner of Mill-Run Rd and Shorewood Dr.

This vacant land is currently zoned C-3 and we would like to have it rezoned to R-3 to build a high-density multi-family community up to 56 units. We are going to make 100% of the units in this development affordable using the 60%-80% rent limits established by HUD for Eau Claire County. The unit mix will consist of one- and two-bedroom units with several of them having attached oversized one car garages.

We feel this apartment community will be a nice addition to this area and will offer affordable rents that are in line with the average wages of the large employers located over in this area. Not to mention the easy highway access and accessibility to the City of Eau Claire makes it a desirable location.

We are hoping to complete this project in two to three phases with construction commencing in the summer of 2021 and the entire project being completed no later than 2024.

Please let me know if you need any additional information. I am dropping off the paper application and filing fee at the City of Eau Claire's office today. Thank you in advance for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "MP", is written over a faint, larger version of the signature.

Mary Proznik
GRIP Development
2601 Morningside Dr
Eau Claire, WI 54703
(715)225-4200



EVERYDAY SURVEYING & ENGINEERING
1818 PROCKETT AVENUE • EAU CLAIRE, WI 54703
PH: (715) 851-0654 • EMAIL: INFO@E3.CO

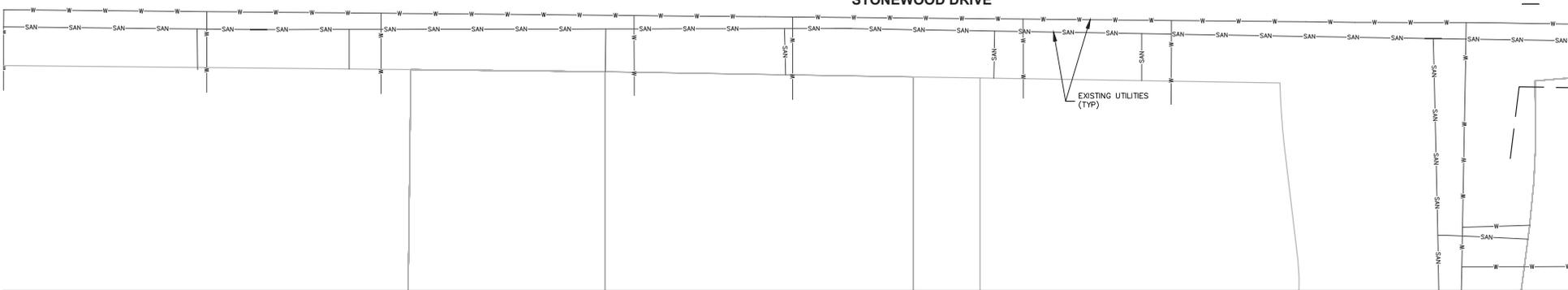
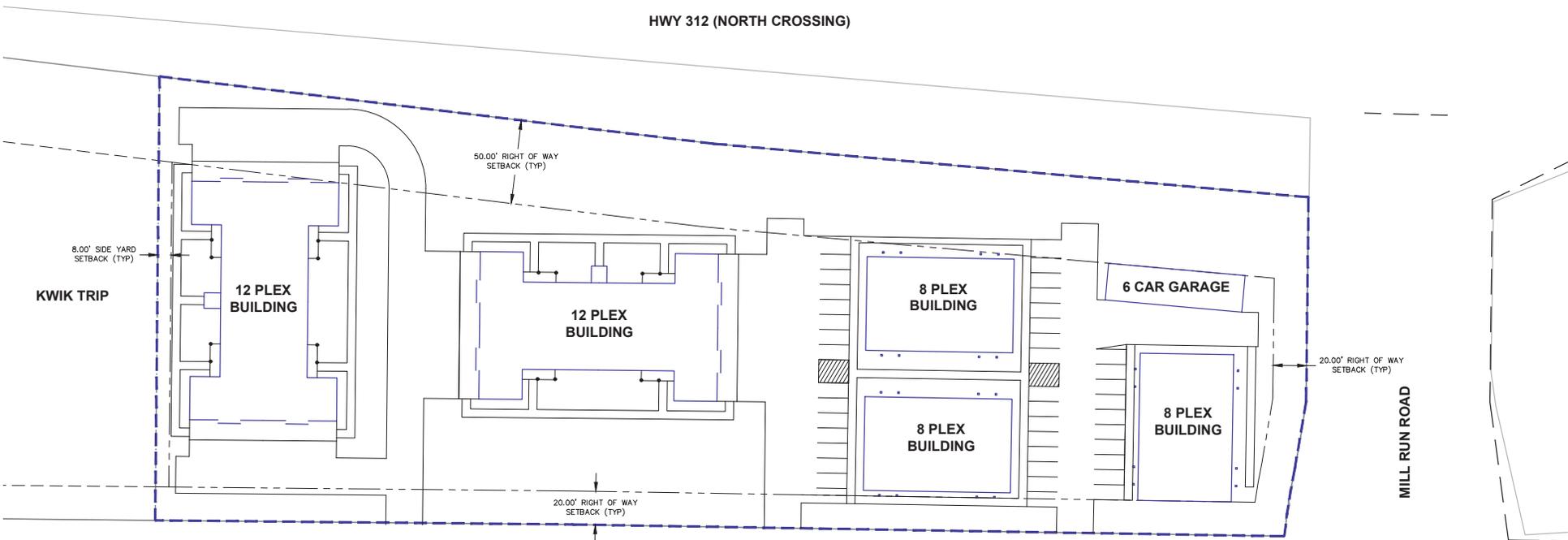
JOB NO: 20096
DWG NAME:
CHK BY: MAE
DATE: 09-18-20
APP'D: XX-XX-XX

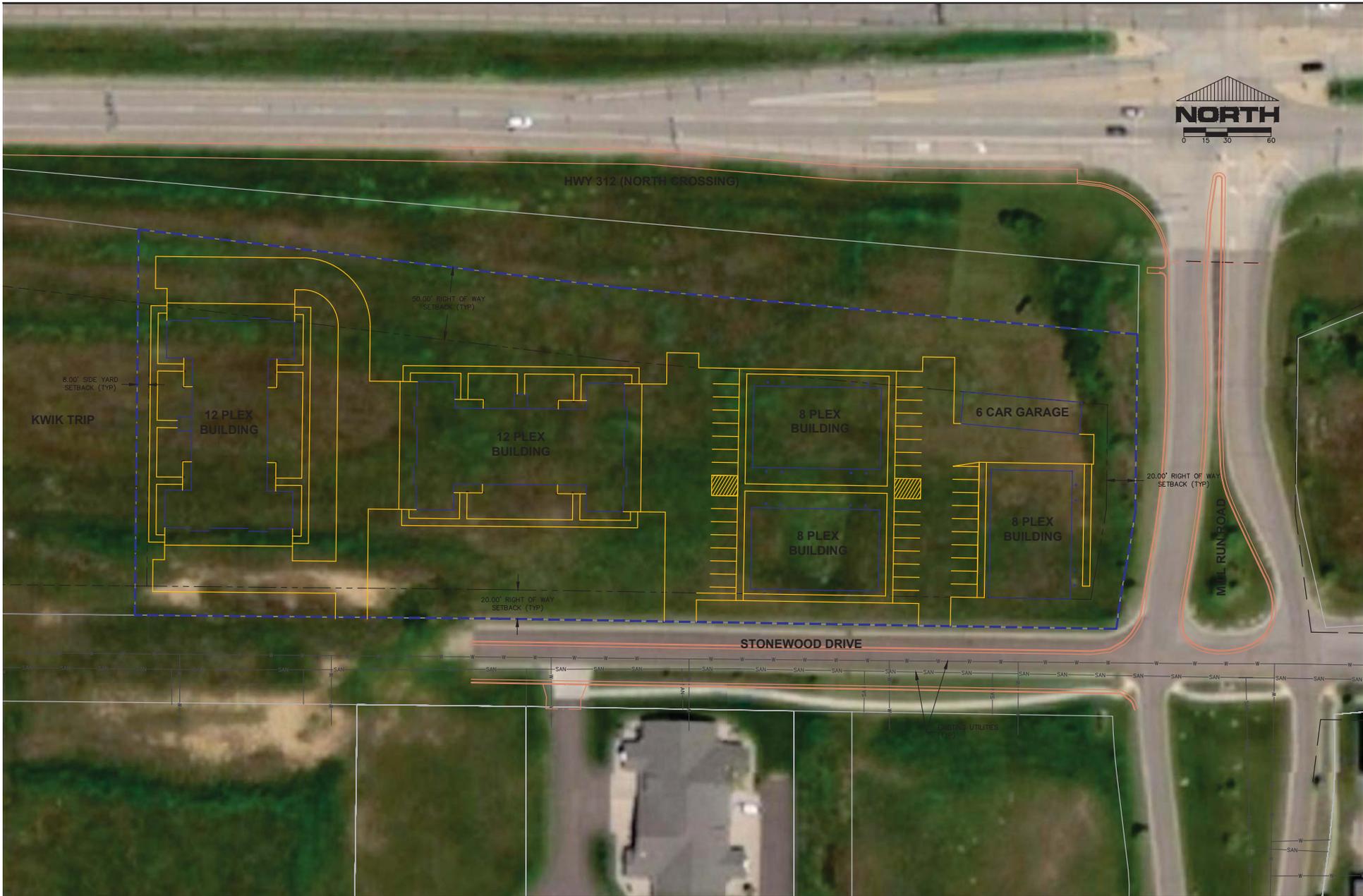
STONWOOD DRIVE
CONCEPT R3P LAYOUT
EAU CLAIRE, WI

SHEET NO: 1



HWY 312 (NORTH CROSSING)



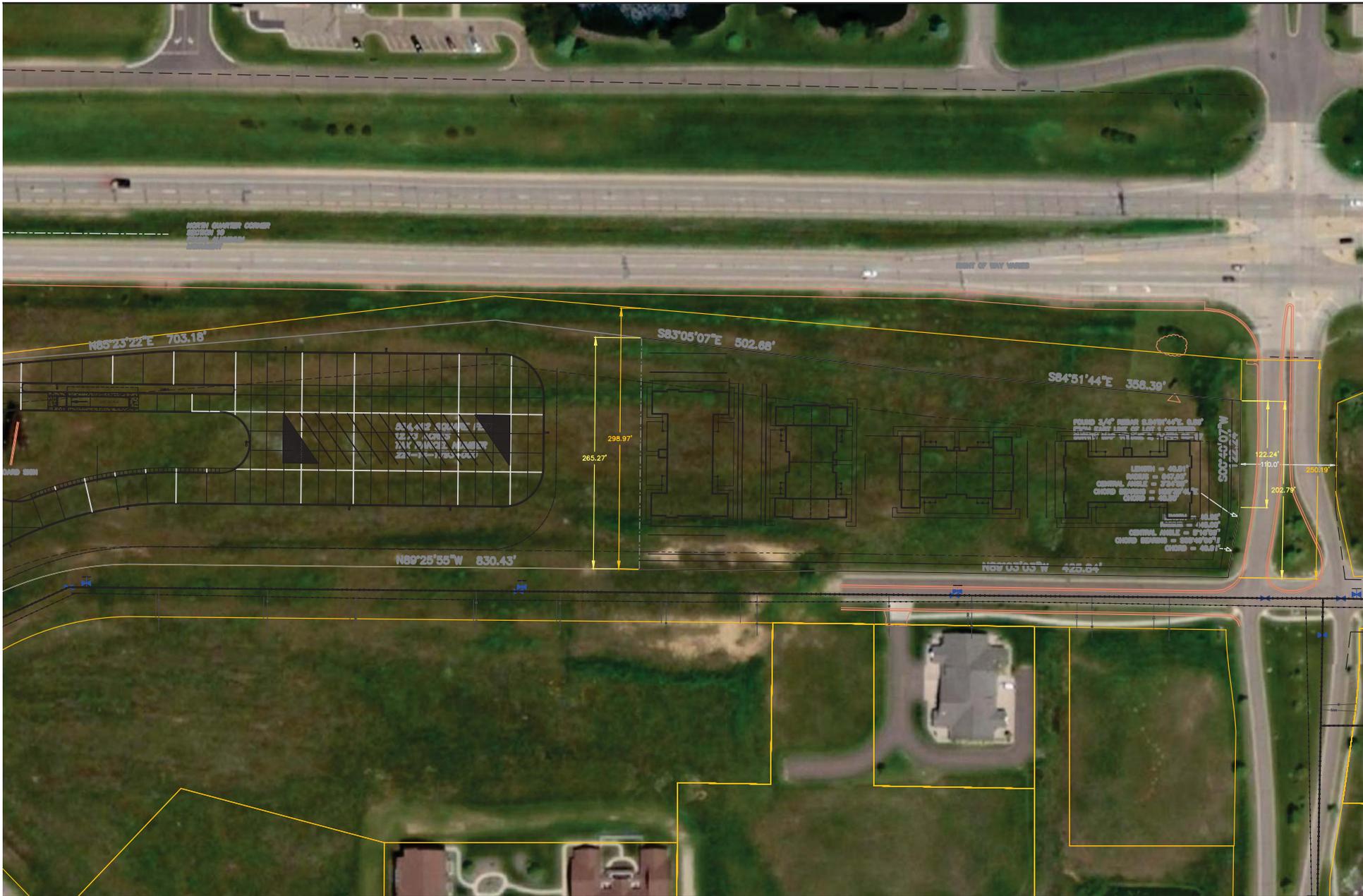


EVERYDAY SURVEYING & ENGINEERING
 1818 BROCKETT AVENUE • EAU CLAIRE, WI 54703
 PH: (715) 851-0654 • EMAIL: INFO@E3.CO

JOB NO:	200906
DRG NAME:	
CHK BY:	MAE
DATE:	09-18-20
APPROV:	XX-XX-XX

STONWOOD DRIVE
CONCEPT RSP LAYOUT
EAU CLAIRE, WI

SHEET NO:
1



EVERDAY SURVEYING & ENGINEERING
 1818 PROCKETT AVENUE • EAU CLAIRE, WI 54703
 PH: (715) 851-0654 • EMAIL: INFO@ESEC.CO

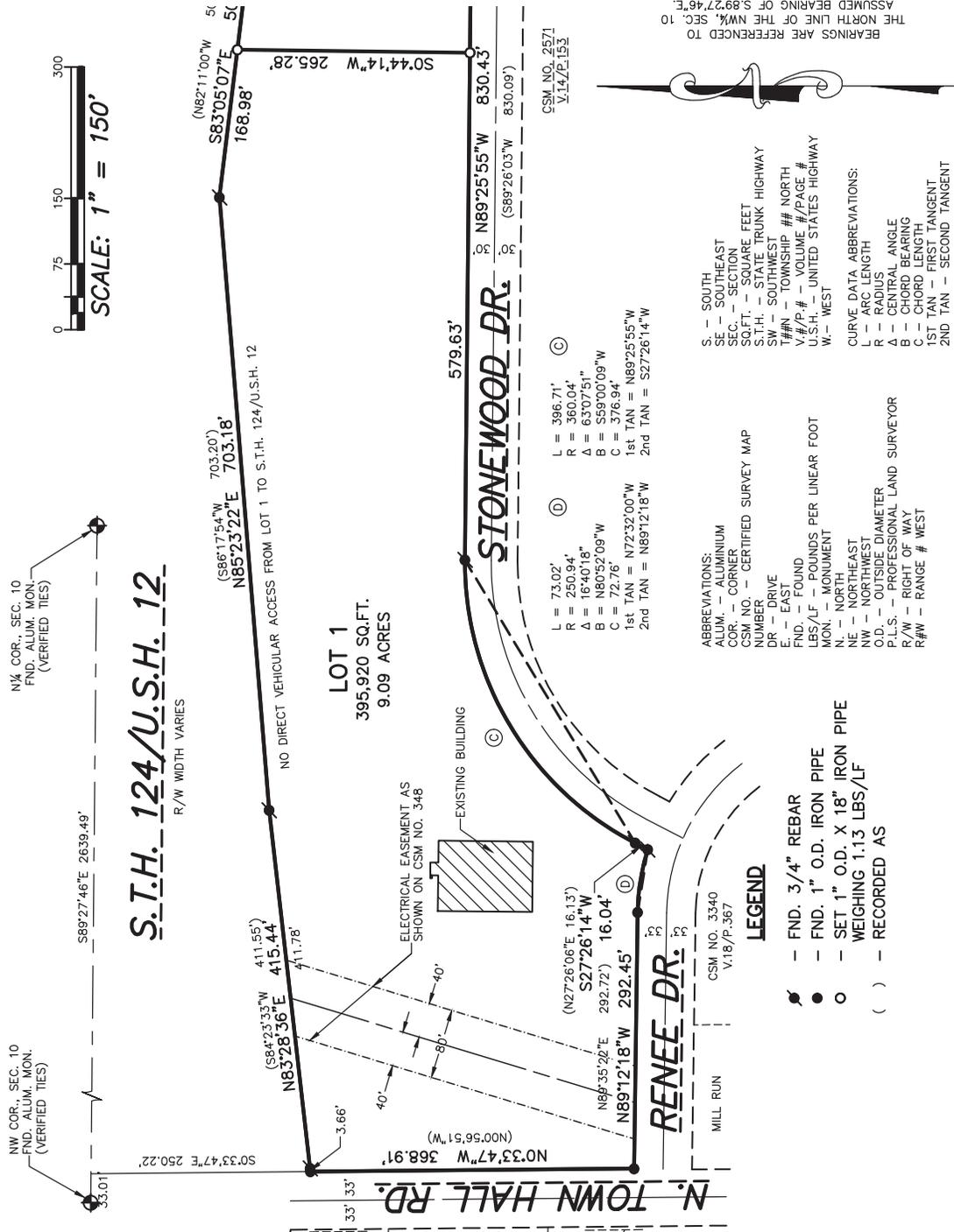
JOB NO:	20096
DWG NAME:	
DATE:	XX-XX-XX

PROJECT NAME
STREET AND UTILITY CONSTRUCTION
EAU CLAIRE, WI

SHEET NO:
 1

CERTIFIED SURVEY MAP, No. _____

IN THE NW¼ OF THE NW¼
AND IN THE NE¼ OF THE NW¼
SECTION 10, T27N, R10W,
CITY OF EAU CLAIRE, EAU CLAIRE COUNTY,
WISCONSIN
BEING PART OF LOT 1, CSM NO. 328



REAL LAND SURVEYING, LLC
1360 INTERNATIONAL DRIVE
EAU CLAIRE, WI 54701
(715)514-4116
CADD No. 20345

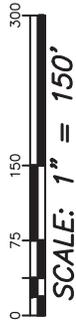
FIELD WORK COMPLETED: SEPTEMBER 23, 2020

SHEET 1 OF 3

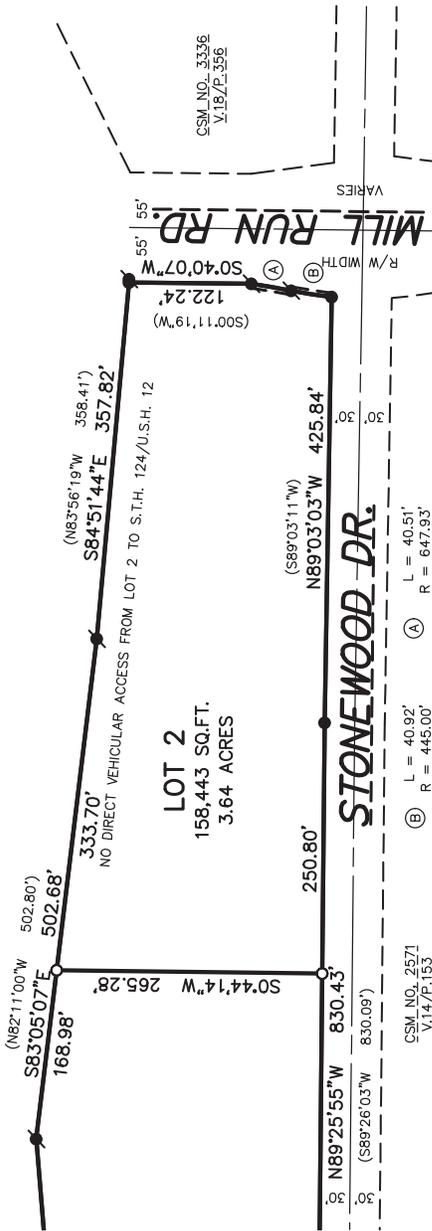
CERTIFIED SURVEY MAP, No. _____

IN THE NW¼ OF THE NW¼
AND IN THE NE¼ OF THE NW¼
SECTION 10, T27N, R10W,
CITY OF EAU CLAIRE, EAU CLAIRE COUNTY,
WISCONSIN
BEING PART OF LOT 1, CSM NO. 328

BEARINGS ARE REFERENCED TO
THE NORTH LINE OF THE NW¼, SEC. 10
ASSUMED BEARING OF S.89°27'46"E.



S.T.H. 124/U.S.H. 12
R/W WIDTH VARIES



(A) L = 40.51'
R = 647.93'
Δ = 334.55"
B = N09°38'45"E
C = 40.50'
1st TAN = N11°27'12"E
2nd TAN = N07°52'17"E

(B) L = 40.92'
R = 445.00'
Δ = 5°16'09"
B = S08°49'06"W
C = 40.91'
1st TAN = S11°27'10"W
2nd TAN = S06°11'01"W

LEGEND

- - FND. 3/4" REBAR
- - FND. 1" O.D. IRON PIPE
- - SET 1" O.D. X 18" IRON PIPE WEIGHING 1.13 LBS/LF
- () - RECORDED AS



Z-1679-20

W NORTH CROSSING

W NORTH CROSSING

MILL RUN RD

C3P

C2P

R3P

STONEWOOD DR

R3P

C2P

R3P

R3P

R3P

RENEE DR

RENEE CT

R2P

R2

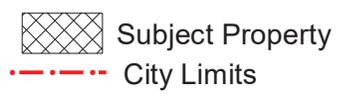
R2

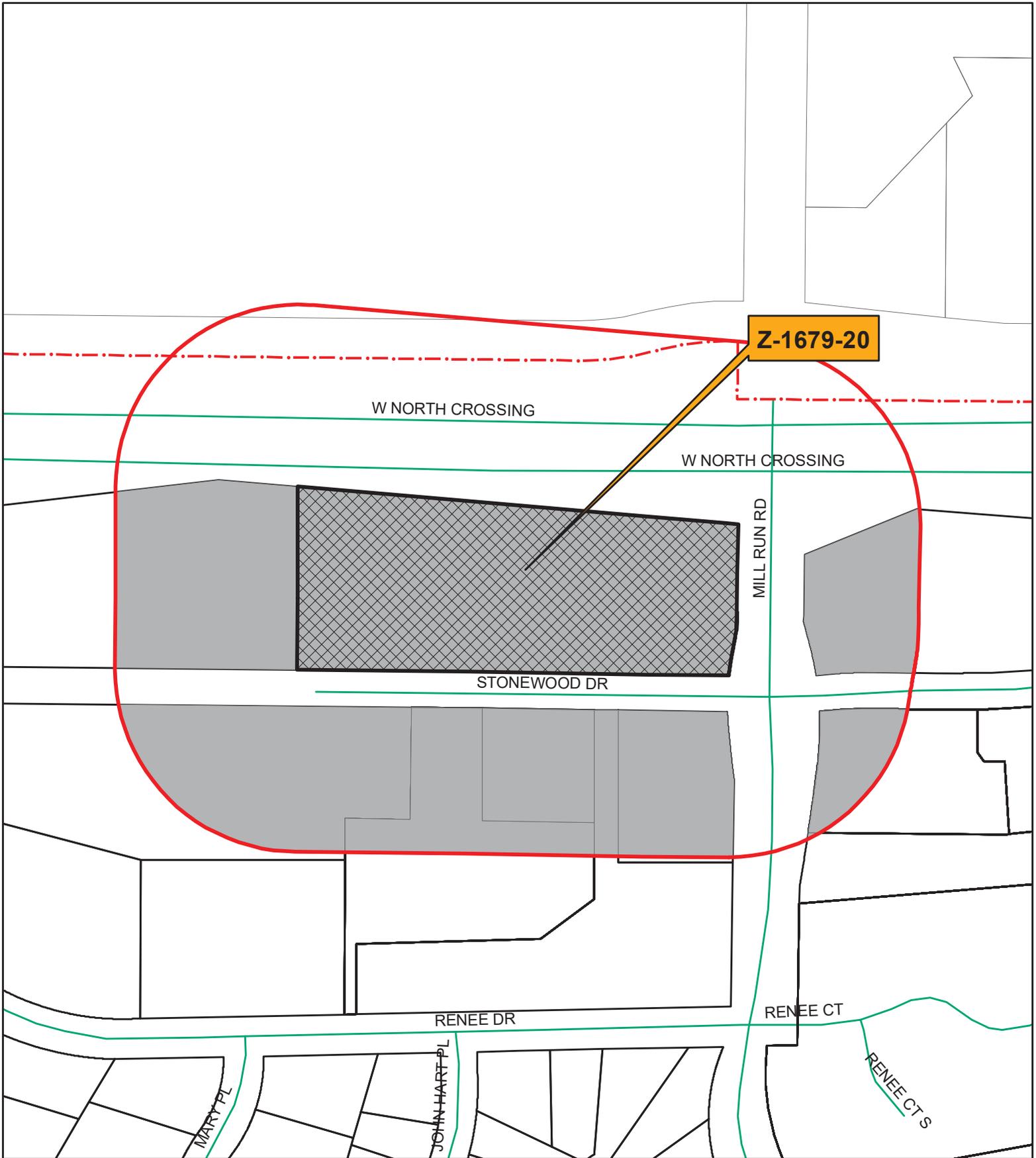
R2P

RENEE CT S



Aerial Map
 Agenda Item: Z-1679-20
 Address: Corner of North Crossing & Mill Run Rd
 Parcel #: 14-1793





Z-1679-20

W NORTH CROSSING

W NORTH CROSSING

MILL RUN RD

STONEWOOD DR

RENEE DR

RENEE CT

RENEE CT S

MARY PL

JOHN HART PL

Notification Map

Agenda Item: Z-1679-20

Address: Corner of North Crossing & Mill Run Rd

Parcel #: 14-1793



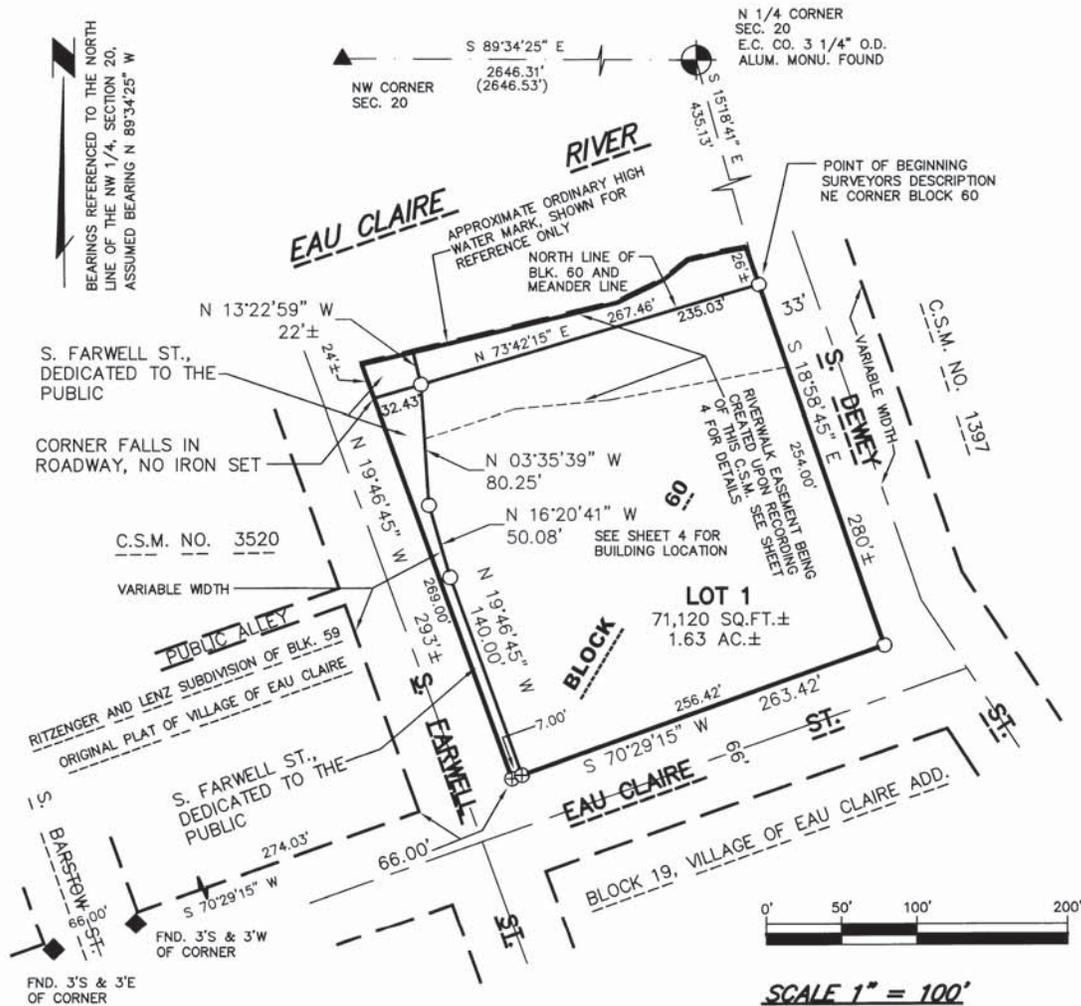
-  Subject Property
-  Buffer
-  Notified Properties
-  City Limits



CERTIFIED SURVEY MAP NO.

BEING EAU CLAIRE LUMBER COMPANY'S REARRANGEMENT OF BLOCK 60 OF THE ORIGINAL PLAT OF THE VILLAGE OF EAU CLAIRE AND THE VACATED ALLEY'S LYING WITHIN SAID BLOCK 60, RECORDED IN VOLUME 2 OF PLATS, PAGE 21, BEING PART OF GOVERNMENT LOT 4, SECTION 20, T27N, R9W, CITY OF EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN

CAD NAME: CITYEC202 CSM



SURVEYING SERVICES BY:
 HIESS-LOKEN & ASSOC., LLC
 PROFESSIONAL LAND SURVEYING
 4905 WEST PARK AVE.
 CHIPPEWA FALLS, WI 54729
 (715)-720-4000 PHONE
 (715)-832-3300
 WWW.HIESS-LOKEN.COM
 HLSURVEY@SBCGLOBAL.NET

Jason R. Hiess
 JASON R. HIESS, P.L.S.
 DATED THIS 9th DAY OF July, 2020.

CERTIFIED SURVEY MAP NO.

BEING EAU CLAIRE LUMBER COMPANY'S REARRANGEMENT OF BLOCK 60 OF THE ORIGINAL PLAT OF THE VILLAGE OF EAU CLAIRE AND THE VACATED ALLEY'S LYING WITHIN SAID BLOCK 60, RECORDED IN VOLUME 2 OF PLATS, PAGE 21, BEING PART OF GOVERNMENT LOT 4, SECTION 20, T27N, R9W, CITY OF EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN

CAD NAME: CITYEC202 CSM

SURVEYOR'S CERTIFICATE

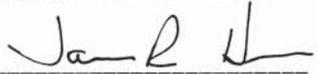
I, JASON R. HIESS, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED THE LAND PARCEL WHICH IS REPRESENTED BY THIS CERTIFIED SURVEY MAP.

THAT THE EXTERIOR BOUNDARY OF THE LAND SURVEYED AND MAPPED IS AS FOLLOWS: A PARCEL OF LAND BEING EAU CLAIRE LUMBER COMPANY'S REARRANGEMENT OF BLOCK 60 OF THE ORIGINAL PLAT OF THE VILLAGE OF EAU CLAIRE AND THE VACATED ALLEY'S LYING WITHIN SAID BLOCK 60, RECORDED IN VOLUME 2 OF PLATS, PAGE 21, BEING PART OF GOVERNMENT LOT 4, SECTION 20, T27N, R9W, CITY OF EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN. BEING FURTHER DESCRIBED AS FOLLOWS: COMMENCING AT THE N 1/4 CORNER OF SAID SECTION 20; THENCE S.15°18'41"E. 435.13 FEET TO THE NORTHEAST CORNER OF SAID BLOCK 60 AND THE POINT OF BEGINNING, THENCE S.18°58'45"E. ALONG THE EAST LINE THEREOF, 254.00 FEET TO THE SOUTHEAST CORNER OF SAID BLOCK 60; THENCE S.70°29'15"W. ALONG THE SOUTH LINE THEREOF, 263.42 FEET TO THE SOUTHWEST CORNER OF SAID BLOCK 60; THENCE N.19°46'45"W. ALONG THE WEST LINE THEREOF, 269.00 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 60, SAID POINT BEING S.19°46'45"E. 24 FEET, MORE OR LESS, FROM THE ORDINARY HIGH WATER MARK OF THE EAU CLAIRE RIVER AND THE BEGINNING OF A MEANDER LINE; THENCE N.73°42'15"E. ALONG THE NORTH LINE OF SAID BLOCK 60 AND THE MEANDER LINE, 267.46 FEET TO A POINT BEING S.18°58'45"E. 26 FEET, MORE OR LESS, FROM THE ORDINARY HIGH WATER MARK OF THE EAU CLAIRE RIVER AND THE END OF THE MEANDER LINE, SAID POINT ALSO BEING THE POINT OF BEGINNING. INCLUDING ALL LANDS LYING BETWEEN THE MEANDER LINE AND THE ORDINARY HIGH WATER MARK OF THE EAU CLAIRE RIVER. BEING SUBJECT TO EXISTING EASEMENTS.

THAT I HAVE MADE SUCH SURVEY AND MAP BY THE DIRECTION OF THE CITY OF EAU CLAIRE, P.O. BOX 5148, EAU CLAIRE, WISCONSIN 54702.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND MAPPED.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES, A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE AND THE SUBDIVISION REGULATIONS OF THE CITY OF EAU CLAIRE, IN SURVEYING AND MAPPING THE SAME.


JASON R. HIESS, P.L.S.

DATED THIS 9th DAY OF July, 2020.



CERTIFICATE OF CITY PLANNING AND DEVELOPMENT

I, SCOTT H. ALLEN, DIRECTOR OF COMMUNITY DEVELOPMENT, CITY OF EAU CLAIRE, HEREBY CERTIFY THAT THIS CERTIFIED SURVEY MAP IS APPROVED AS COMPLYING WITH TITLE 17, THE SUBDIVISION ORDINANCE, OF THE MUNICIPAL CODE OF THE CITY OF EAU CLAIRE.

SCOTT H. ALLEN, DIRECTOR

DATED THIS _____ DAY OF _____, 2020.

SURVEYING SERVICES BY:
HIESS-LOKEN & ASSOC., LLC
PROFESSIONAL LAND SURVEYING
4905 WEST PARK AVE.
CHIPPEWA FALLS, WI 54729
(715)-720-4000 PHONE
(715)-832-3300
WWW.HIESS-LOKEN.COM
HLSURVEY@SBCGLOBAL.NET

CERTIFIED SURVEY MAP NO.

BEING EAU CLAIRE LUMBER COMPANY'S REARRANGEMENT OF BLOCK 60 OF THE ORIGINAL PLAT OF THE VILLAGE OF EAU CLAIRE AND THE VACATED ALLEYS LYING WITHIN SAID BLOCK 60, RECORDED IN VOLUME 2 OF PLATS, PAGE 21, BEING PART OF GOVERNMENT LOT 4, SECTION 20, T27N, R9W, CITY OF EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN

CAD NAME: CITYEC202 CSM

CORPORATE OWNER'S CERTIFICATE OF DEDICATION

THE CITY OF EAU CLAIRE, A CORPORATION ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNERS DO HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS C.S.M. TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THE C.S.M.

THE CITY OF EAU CLAIRE, DOES FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR 236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION.

-----THE CITY OF EAU CLAIRE

IN WITNESS WHEREOF, THE SAID CITY OF EAU CLAIRE, HAS CAUSED THIS DOCUMENT TO BE SIGNED ON THIS _____ DAY OF _____, 2020.

NAME TITLE NAME TITLE

STATE OF WISCONSIN
SS
COUNTY OF _____

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2020. THE ABOVE NAMED _____ AND _____, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

, NOTARY PUBLIC

MY COMMISSION EXPIRES _____

****NOTE:**

COMPLETION DATE OF FIELD WORK-- 07-07-20

TIES VERIFIED FOR THE SECTION CORNERS SHOWN

SEE SHEET 4 OF 4 FOR LEGEND AND EXISTING BUILDING LOCATION

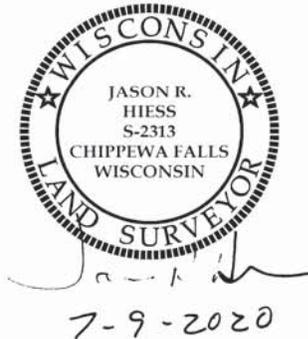
SEE SHEET 4 OF 4 FOR RIVERWALK EASEMENT, CREATED HEREON

ANY LAND BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION

NOTE, PER THE CITY OF EAU CLAIRE: THE LOTS SHOWN ON THIS CERTIFIED SURVEY MAP ARE NEAR THE 100 YEAR FLOOD PLAIN ELEVATION. SPECIAL REQUIREMENTS MAY APPLY BEFORE ANY STRUCTURES CAN BE BUILT

A PLAT OF SURVEY COMPLETED BY J.W. DENZINE, S-1129, DATED 5-14-1974 WAS USED TO DETERMINE BLOCK 60 AND THE S. FARWELL STREET DEDICATION

SURVEYING SERVICES BY:
HIESS-LOKEN & ASSOC., LLC
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4905 WEST PARK AVE.
CHIPPEWA FALLS, WI 54729
(715)-720-4000 PHONE
(715)-832-3300
WWW.HIESS-LOKEN.COM
HLSURVEY@SBCGLOBAL.NET

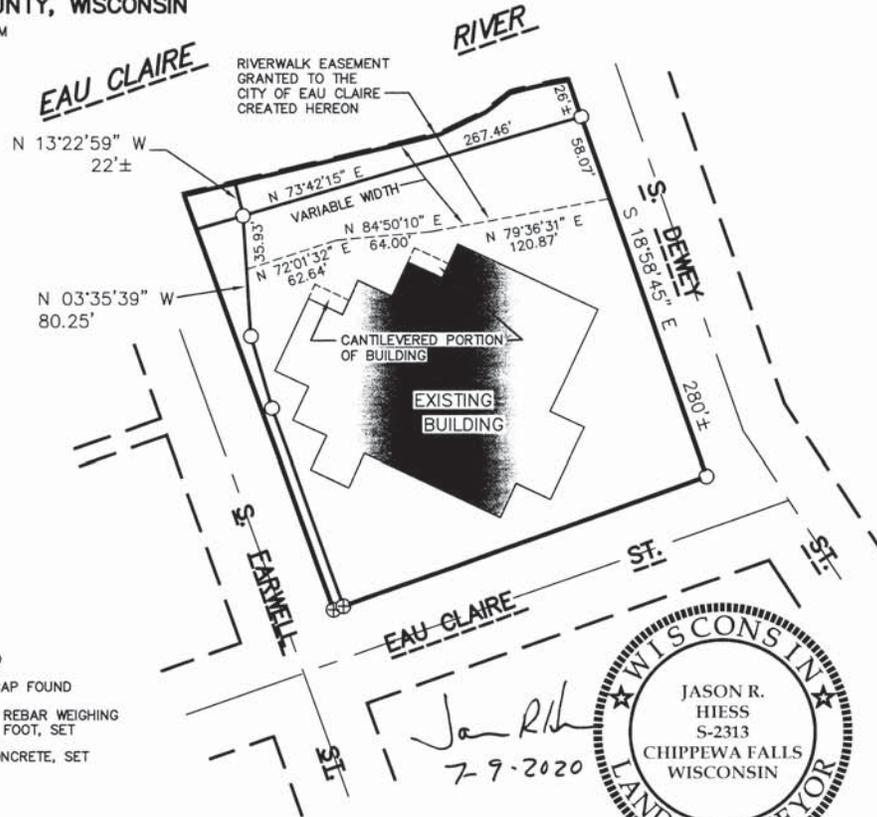


CERTIFIED SURVEY MAP NO.

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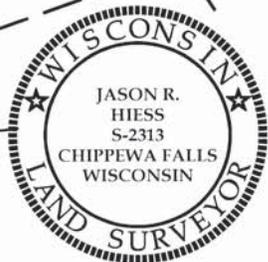
CAD NAME: CITYEC202 CSM

BEARINGS REFERENCED TO THE NORTH LINE OF THE NW 1/4, SECTION 20, ASSUMED BEARING N 89°34'25" W



LEGEND

- ▲ --- MAG NAIL FOUND
- ◆ --- 2 1/2" BRASS CAP FOUND
- --- 3/4" X 24" IRON REBAR WEIGHING 1.50 LBS./LINEAL FOOT, SET
- ⊕ --- DRILL HOLE IN CONCRETE, SET
- () --- RECORDED AS
- N. --- NORTH
- S. --- SOUTH
- E. --- EAST
- W. --- WEST
- NE --- NORTHEAST
- NW --- NORTHWEST
- SE --- SOUTHEAST
- SW --- SOUTHWEST
- ' --- DEGREES
- " --- MINUTES OR FEET
- " --- SECONDS
- T --- TOWNSHIP
- R --- RANGE
- O.D. --- OUTSIDE DIAMETER
- LBS. --- POUNDS
- SQ. --- SQUARE
- FT. --- FEET
- AC. --- ACRES
- INCL. --- INCLUDING
- EXCL. --- EXCLUDING
- R/W --- RIGHT OF WAY
- C.S.M. --- CERTIFIED SURVEY MAP
- NO. --- NUMBER
- AVE. --- AVENUE
- ST. --- STREET
- C.T.H. --- COUNTY TRUNK HIGHWAY
- VOL. --- VOLUME
- P. --- PAGE
- COR. --- CORNER
- P.L.S. --- PROFESSIONAL LAND SURVEYOR
- SEC. --- SECTION
- WI --- WISCONSIN
- LLC --- LIMITED LIABILITY COMPANY
- CO. --- COUNTY
- TAN. --- TANGENT
- BEAR. --- BEARING
- BLK. --- BLOCK
- FND. --- FOUND



Jan Rlh
7-9-2020

COMMON COUNCIL RESOLUTION

RESOLVED THAT THIS CERTIFIED SURVEY MAP, LOCATED IN THE CITY OF EAU CLAIRE IS HEREBY APPROVED BY THE COMMON COUNCIL OF THE CITY OF EAU CLAIRE.

APPROVED: _____
DATE

SIGNED: _____
TERRY WELD, COUNCIL PRESIDENT

I HEREBY CERTIFY THAT THE FOREGOING IS A COPY OF A RESOLUTION ADOPTED BY THE CITY OF EAU CLAIRE.

CARRIE RIEPL, CITY CLERK

SURVEYING SERVICES BY:
HIES-LOKEN & ASSOC., LLC
PROFESSIONAL LAND SURVEYING
4905 WEST PARK AVE.
CHIPPEWA FALLS, WI 54729
(715)-720-4000 PHONE
(715)-832-3300
WWW.HIES-LOKEN.COM



Staff Report

To: Plan Commission

Hearing Date:

Plan Commission: 10/19/20, 7:00 p.m.
City Hall, Council Chambers

From: Community Development

File No.: SP-2034

Agenda Item: Request for approval of a site plan for Dimension X Design located at 1262 International Drive

Applicants: Advanced Engineering Concepts & Durand Builders

Area: +/- 1.4 acres

Surrounding Land Use: North: Vacant (I-1P zoning)
East: Industrial (I-1P zoning)
South: Industrial (I-1P zoning)
West: Industrial (I-1P zoning)

Existing Zoning: I-1P

Proposed Zoning: Same

Existing Land Use: Vacant

Proposed Land Use: Industrial

Recommendation: The attached draft letter to the applicant is provided for Plan Commission's consideration in review of this site plan. If the Plan Commission desires to approve this site plan, staff would recommend the conditions as noted in this letter.

Analysis: Advanced Engineering Concepts and Durand Builders are requesting approval for Dimensions X Design located at 1262 International Drive. Attached is the narrative provided by the applicant along with the site plan, floor plans, and elevations of the proposed building.

The site plan shows a footprint of an approximately 18,625 square foot building. The site plan shows a future addition of 5,000 square foot to the north of the proposed building. The proposed building is shown in the elevations. The parking would be based on the employee and customer needs, which is 17 during peak hours. The revised site plan shows 33 parking stalls for employees and customers, which the Plan Commission will need to determine is appropriate. Staff would note the 42-foot wide drive access is excess and should be reduced down to 30 feet wide. The property has one driveway access to International Drive. Bicycle parking should be added to the site, with two "U-shaped" racks near the entrance.

The landscape plan shows a mixture of trees and foundation plantings. A pedestrian link should be added to the site to the public sidewalk. The site plan notes that exterior lighting will be in compliance with city standards. A dumpster enclosure is shown on the site plan near the proposed building.

Grading and Drainage: The site is tributary to the Chippewa River at the Sky Park outfall south of Short Street. Storm water detention facilities will not be required for peak rate runoff control because of the available capacity in the downstream conveyance system. Storm water best management practices (BMP's) are required to improve runoff water quality. Grass swales and an infiltration basin are proposed as the water quality BMP's. Materials submitted with the site plan indicate that, in this application, these units are calculated to remove approximately 91%

of Total Suspended Solids. The threshold new development BMP's identified in NR151 is an 80% reduction in Total Suspended Solids. The proposed facility will meet that requirement for the site. The proposed method of handling storm water runoff is to direct runoff to a detention area that discharges north via an overflow weir. Calculations submitted with the site plan indicate the basin will contain smaller events and have a reduced release rate for larger storm events.

Public Utilities: Water and sewer service is available to the site; record dimensions of public facilities can be obtained by calling the Engineering Department. Utility connections may require a work in the right-of-way permit and a plumbing permit. Fire sprinkler designs should be based on current fire hydrant flow tests. Contact the Water Utility at 715-839-5045 to obtain fire hydrant flow test data or to request a flow test.

Traffic: The traffic generated by the proposed improvements should not adversely impact traffic flow in the area. The plan calls for a new 25-foot curb cut on International Drive for driveway access.

Transit: This project is located along Bus Route #21 – Shopko Plaza. It is not likely to generate any demand for Transit.



October 19, 2020

DRAFT

Advanced Engineering Concepts
1360 International Drive
Eau Claire, WI 54701

RE: SP-2034, Dimension X Design – Plan Commission Site Plan Review

Dear Applicant:

The Plan Commission, at its October 19, 2020 meeting, reviewed the above-referenced site plan.

A. Conditions to be shown/satisfied on a revised site plan:

The following conditions must be satisfied prior to it being approved:

1. City of Eau Claire Engineering Department approval of drainage calculations and drainage plan.
2. Reduce down the western drive access for vehicles and trucks from 42' to 30' and replace with grass/open space.

After the conditions noted above are met, a building permit may be issued.

B. Conditions to be met prior to occupancy permit:

Conditions which must be met prior to issuance of the occupancy permit for this project include:

1. Bicycle parking should be added to the site, with two "U-shaped" racks near the entrance.
2. A pedestrian link should be added to the site to the public sidewalk.

Any changes in your site plan must be reviewed by the Department of Community Development. Please contact me at 715-839-4914 if you have any questions or if you need additional information.

Sincerely,

Ryan Petrie
Associate Planner

c: File, Calvin Miller



Project Memo

To: City of Eau Claire-Engineering Department

From: Matt Appel, P.E.

CC:

Date: September 25, 2020

Re: Drainage Analysis - Lot 4 Sky Park – Dimension X Design – Durand Builders

A new 18,625-sf building and 24,137-sf of associated parking lot are proposed for a new manufacturing business, on lot 4 of the Sky Park Business Park on International Drive. Lot 4 is 2.00-acres and is vacant. The site is tributary to a regional stormwater facility that provides for peak discharge mitigation. Infiltration and water quality performance standards must be met on this site. The proposed site will have 51,700-sf of impervious surface, which is 59.3% of the site. The site soils are mainly Plainfield loamy sand of HSG A with underlying sand and gravelly coarse sand sub-soils. The site is partially wooded and partially open. The partially open areas have areas of exposed soil where little vegetation grows.

The western half of the rooftop (9,625-sf) will drain via downspouts and storm sewer to an 8” storm sewer service that is stubbed into the site from International Drive. The remainder of the rooftop and pavement will drain via swales to an infiltration basin in the northeast corner of the site. The stormwater design accounts for an additional 5,000-sf of potential future rooftop and 2,816-sf of potential future pavement. The swales and basin will infiltrate a minimum of 75% of the average annual infiltration amount and will provide for an overall minimum 80% total suspended solids reduction for the overall site.

The site is divided into 5 watersheds. Watershed 1S (17,374-sf) is on the east side and includes the front-east parking lot that will drain to a front lawn and a swale along the east side of the building. Watershed 2S (29,679-sf) is on the west side and includes the main-western parking lot and half of the future roof. Watershed 3S (1,352-sf) includes that portion of the parking lot that drains out the front driveway. Watershed 4S (9,480-sf), is the west half of the roof that will drain to storm sewer. Watershed 5S (18,899-sf) includes the eastern rooftop and the infiltration basin. Watershed 1S drains to a series of 3-foot wide swales (GS#1, GS#3 & GS#4) in the front and east side of the site. Watershed 2S drains to a 6-foot wide swale (GS#2) in the north of the site. The swales drain to a 3.5-foot deep infiltration basin that will have a bottom with minimum 1,100-sf of surface area at 865.00 and a minimum top area of 10,000-sf at 868.50. The underlying sand sub-soil was estimated to have a 3.6-in/hr infiltration rate and the grass swales were assumed to have a dynamic infiltration rate of 1.8-in/hr. The eastern rooftop was routed directly to the infiltration basin, in the case, that it is piped directly to the infiltration basin, thus bypassing the swale GS#4.

The proposed improvements were modeled in WinSLAMM and the results are shown in Table 1. The swales and infiltration basins result in an overall 91% TSS reduction for the site.

Table 1. Watershed, Device and TSS Reduction Efficiency (20335 C.mdb model)

Watershed (area)	Control Practice (Device)	TSS reduction
1S-LU#1 (0.400-ac.)	CP#1-GS#1 to GS#3 to GS#4 to Infiltration Basin	98.28 %
2S-LU#2 (0.681-ac.)	CP#2-Grass Swale #2 to Infiltration Basin	81.12 %
3S-LU#3 (0.031-ac.)	none	0.00 %
4S-LU#4 (0.218-ac.)	none	0.00 %
(0.681-ac.)	CP#4-GS#3 to GS #4 to Infiltration Basin	100.00 %
(0.681-ac.)	CP#5-GS#4 to Infiltration Basin	100.00%
5S-LU#5 (0.433-ac.)	CP#3-Infiltration Basin	100.00 %
Overall (1.763 ac.)		91.36 %

The technical requirements require this site to infiltrate 75% of the annual pre-development average annual infiltration volume. The site was modeled in WinSLAMM as existing/undeveloped (Model 20335 A.mdb), the existing site as entirely impervious (Model 20335 B.mdb), and the site in the proposed development state with controls (Model 20335 C.mdb), based on the average annual rainfall. The post-development infiltration volume was found to be 87.1% of the pre-development infiltration volume. Table 2 summarizes the results:

Table 2. Pre-developed and post-developed infiltration performance

A Model 20335 A: Runoff from entire site modeled as undeveloped	B Model 20335 B: Runoff from entire site modeled as entirely impervious	C Model 20335 C: Runoff from developed site w/ controls	B-A= Annual pre- developed infiltration volume	B-C= Annual post- developed infiltration volume	Post- developed infiltration volume percentage:
1,407 ft ³	142,956 ft ³	19,626 ft ³	141,549 ft ³	123,330 ft ³	87.1 %

A HydroCAD model of the site, shows the infiltration basin will contain the 1-yr and 2-yr storm events and release runoff from the 3-yr, 10-yr and 100-yr storms. The down-spout connections are sized to convey the 10-yr storm event to the 8” storm sewer service. The peak discharge and high-water levels are shown in Table 3.

Table 3: Post-construction peak discharge rates and highwater level.

Storm Event	Post-Developed Peak Rate to Storm Sewer Service (4S) (cfs)	Post-Developed Peak Rate Inflow to Inf. Basin (1P) (cfs)	Post-Developed Peak Discharge leaving Inf. Basin (1P) (cfs)	High Water Level	Overall Post- Developed Peak Rate (1R) (cfs)
1-yr 24-hr	0.66	3.10	0.00	866.75	0.75
2-yr 24-hr	0.76	3.58	0.00	866.94	0.87
3-yr 24-hr	0.81	3.80	0.03	867.01	0.92
10-yr 24-hr	1.11	5.23	1.58	867.22	2.08
100-yr 24-hr	1.81	8.72	5.98	867.52	7.51

Attachments: 11”x17” plans, Area Breakdown Spreadsheet, Watershed Map, WinSLAMM inputs/outputs, HydroCAD input/outputs.

EAU CLAIRE COUNTY



Know what's below.
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VICINITY MAP

DIMENSION X DESIGN LLC DURAND BUILDERS LOT 4, SKY PARK EAU CLAIRE, WISCONSIN

PROJECT LOCATION

CONTACTS	
DUPUTY CITY ENGINEER	CITY OF EAU CLAIRE ATTN: LEAH NESS (715) 839-4934
PLANNING	CITY OF EAU CLAIRE - PLANNING DEPARTMENT RYAN PETRIE (715) 839-4914
ELECTRIC	XCEL ENERGY ATTN: JOHN KELSER (715) 737-1431
GAS	XCEL ENERGY: DESIGN SECTION ATTN: BRADY GARDOW (715) 737-1450
TELEPHONE	AT&T ATTN: MARSHA FLATER (715) 839-5813
CABLE	CHARTER COMMUNICATIONS ATTN: CURT MOORE (715) 831-8940 ext. 51148
SANITARY	CITY OF EAU CLAIRE BEN SPANEL (715) 379-4996
WATER	CITY OF EAU CLAIRE DAVID ROBERTS (715) 839-1877
FIRE DEPT.	CITY OF EAU CLAIRE - FIRE INSPECTOR JASON KNECHT (715) 839-5014



LOCATION MAP

SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
CITY OF EAU CLAIRE		
WIDNR - WRAPP PERMIT		
CITY OF EAU CLAIRE - EXTERIOR PLUMBING PERMIT		

BUILDER/ARCHITECT:
DURAND BUILDERS
ATTN: PETE PERSHERN
PO BOX 10
DURAND, WI 54736
PHONE: 715.672.5941

PROJECT ENGINEER:
ADVANCED ENGINEERING CONCEPTS
MATT APPEL, P.E.
1360 INTERNATIONAL DRIVE, SUITE #1
EAU CLAIRE, WI 54701
PHONE: 715.552.0330
EMAIL: mappel@aec.engineering

LEGEND

EXISTING

- BENCHMARK
- CONTROL POINT
- SIGN
- CURB STOP
- WELL
- HYDRANT
- GATE VALVE
- CURB INLET
- AREA DRAIN
- SAN MH
- STORM MH
- SAN CLEANOUT
- GAS MANHOLE
- LIGHT POLE
- UTILITY POLE
- GUY WIRE
- GUY POLE
- PULL BOX
- ELEC PED
- CABLE PED
- MAILBOX
- TELE PED
- IRON PIPE
- ROW POST
- REBAR
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- OVERHEAD UTILITY
- TELEPHONE LINE
- GAS LINE
- ELECTRIC LINE
- CABLE TV LINE
- TREE LINE
- EXISTING TREES
- MARSH
- FENCE LINE
- WOVEN WIRE FENCE
- SILT FENCE
- RETAINING WALL
- WATERMAIN
- CONTOURS MAJOR
- CONTOURS MINOR

PROPOSED

- BENCHMARK
- CONTROL POINT
- SIGN
- CURB STOP
- WELL
- HYDRANT
- GATE VALVE
- CURB INLET
- AREA DRAIN
- SAN MH
- STORM MH
- SAN CLEANOUT
- GAS MANHOLE
- LIGHT POLE
- UTILITY POLE
- GUY WIRE
- GUY POLE
- PULL BOX
- ELEC PED
- CABLE PED
- MAILBOX
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- WATERMAIN
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- CONTOURS MINOR

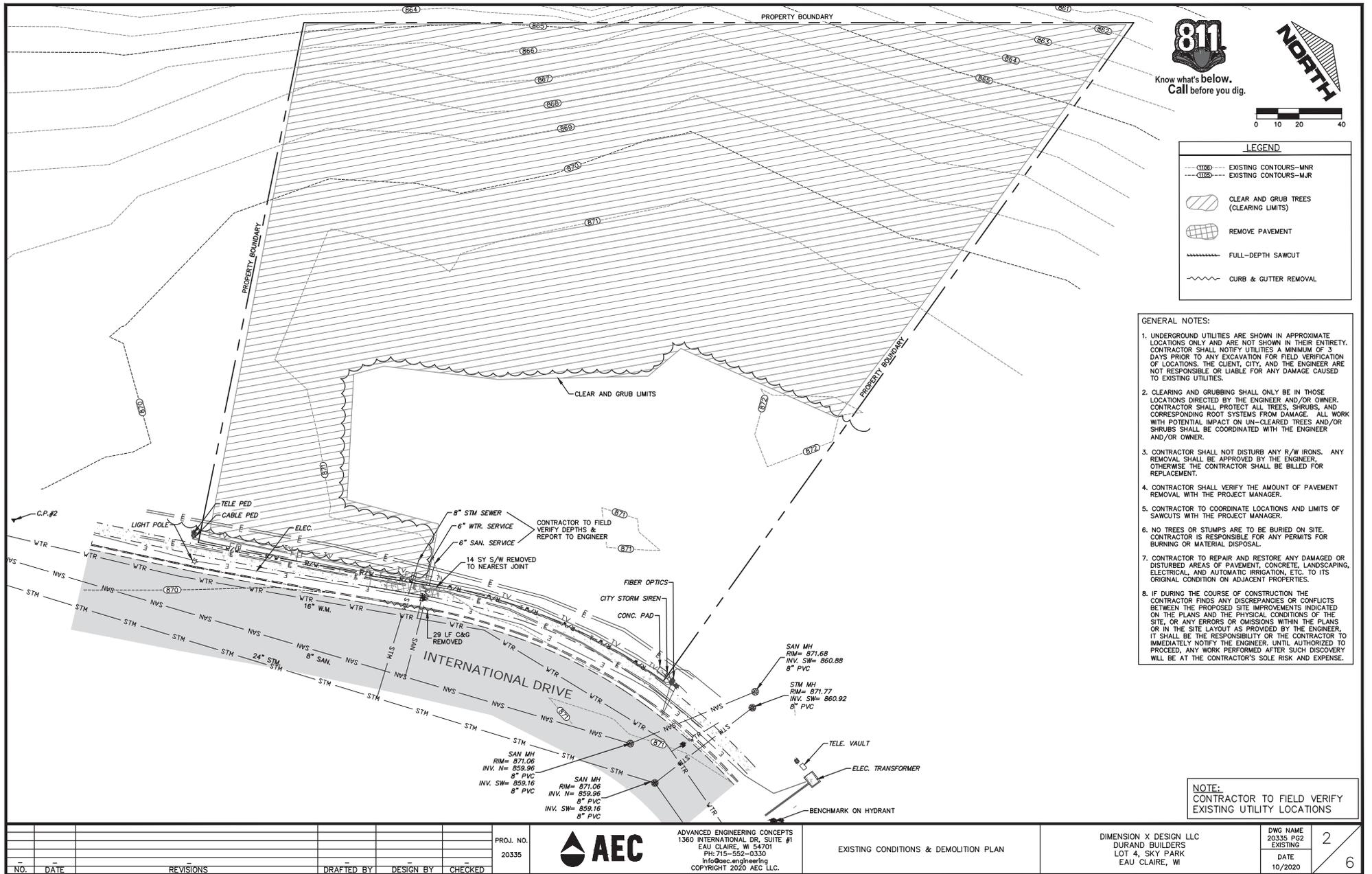
ABBREVIATIONS:
 BC=BACK OF CURB
 BLK=BLOCK NUMBER
 BOT=BOTTOM (ELEV)
 CL=CENTERLINE
 CS=CURB STOP
 ELEV=ELEVATION
 EOP=EDGE OF PAVEMENT
 EX=EXISTING
 FES=FLARED END SECTION
 FF=FINISHED FLOOR (ELEV)
 FL=FLOWLINE
 GF=GARAGE FLOOR (ELEV)
 GLG=GROUND LINE GROOVE
 HWL=HIGH WATER LEVEL
 INV=INVERT
 LF=LINEAR FEET
 LO=LOOKOUT STYLE HOME
 LT=LEFT
 MIN=MINIMUM
 NWL=NORMAL WATER LEVEL
 PC=POINT OF CURVE
 PRC=CURVE REVERSAL POINT
 PT=POINT OF TANGENCY
 RAD=RADIUS
 RT=RIGHT
 R/W=RIGHT OF WAY
 SAN=SANITARY SEWER
 SP=SPOT ELEVATION
 STA=STATION
 STM=STORM SEWER
 TC=TOP OF CURB
 TYP=TYPICAL
 W=WATER FITTINGS
 WAT=WATER
 WM=WATERMAIN
 WO=WALKOUT STYLE HOME

SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE & CONCEPTUAL LANDSCAPE PLAN
4	GRADING & EROSION CONTROL PLAN
5	UTILITY PLAN
6	DETAILS

AEC PROJECT #:20335 PLANS DATED: SEPTEMBER, 2020



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LEGEND	
	EXISTING CONTOURS—MNR
	EXISTING CONTOURS—MJR
	CLEAR AND GRUB TREES (CLEARING LIMITS)
	REMOVE PAVEMENT
	FULL-DEPTH SAWCUT
	CURB & GUTTER REMOVAL

- GENERAL NOTES:
- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
 - CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
 - CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER. OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
 - CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
 - CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
 - NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
 - CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
 - IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER, UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PROJ. NO. 20335		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR, SUITE #1 EAU CLAIRE, WI 54701 PH: 715-552-0330 info@aec.engineering COPYRIGHT 2020 AEC LLC.	EXISTING CONDITIONS & DEMOLITION PLAN
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DIMENSION X DESIGN LLC DURAND BUILDERS LOT 4, SKY PARK EAU CLAIRE, WI	DWG NAME 20335 PG2 EXISTING	2
DATE 10/2020	6	

- LANDSCAPE LEGEND:**
- DECIDUOUS ("STREET TREE")
 - SMALL MIXED SHRUBS
 - CONIFEROUS TREE
 - LANDSCAPE MULCH

- NOTES:**
1. THE BUILDING WILL HAVE DOWNCAST EXTERIOR LIGHTS MOUNTED ON THE BUILDING NEAR EACH ENTRANCE.
 2. LANDSCAPING WILL CONSIST OF SHRUBS AND GROUND COVER PLANTED ADJACENT TO THE EXTERIOR OF THE PROPOSED BUILDINGS. THE LANDSCAPING WILL BE PROFESSIONALLY INSTALLED PRIOR TO OCCUPANCY.
 3. STREET TREES SHALL BE PLACED EVERY 30' ON CENTER AND SHALL BE OF SIZE 1-1/2" CALIPER OR LARGER. (INSTALLED BY CITY)
 4. THIS PROJECT WILL HAVE 6' WIDE CONCRETE SIDEWALKS. (TYP.)

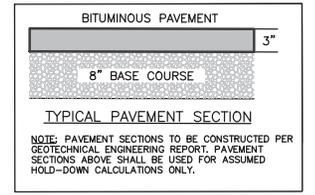
DIMENSION X DESIGN INTERNATIONAL DR.

CURRENT ZONING:	II-P
LOT SIZE:	87,250 SF (2.00 AC.)
EXISTING IMPERVIOUS AREA:	00,000-SF (0.0%)
PROPOSED USE:	MANUFACTURING
PROPOSED BUILDING:	18,625-SF (21.3%)
PROPOSED PAVEMENT:	25,627-SF (29.4%)
PROPOSED SIDEWALK:	1,122-SF (1.3%)
FUTURE EXPANSION:	5,000-SF (5.7%)
FUTURE PAVEMENT:	2,816-SF (3.2%)
OVERALL IMPERVIOUSNESS:	53,190-SF (61.0%)
GREEN SPACE:	34,060-SF (39.0%)
PARKING STALLS:	33 TOTAL (2 ACCESSIBLE)
STORM WATER TREATMENT:	GRASSED SWALES & 1 INFILTRATION BASIN

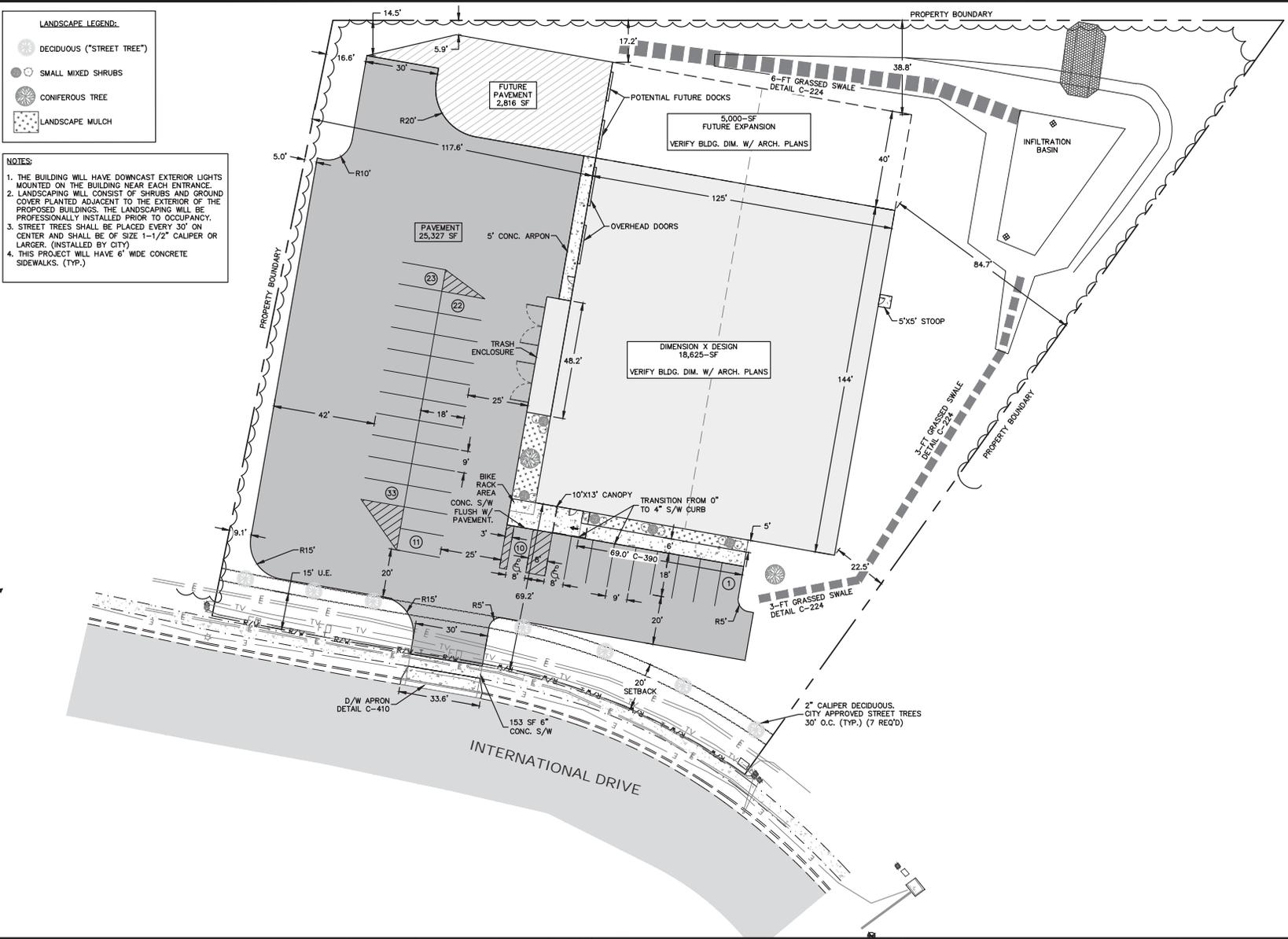
SETBACKS:
 FRONT: 20'
 SIDE: 0'
 REAR: 0'

HATCHING LEGEND

	EXISTING ASPHALT
	EXISTING CONCRETE PAVEMENT
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)



NOTE: CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

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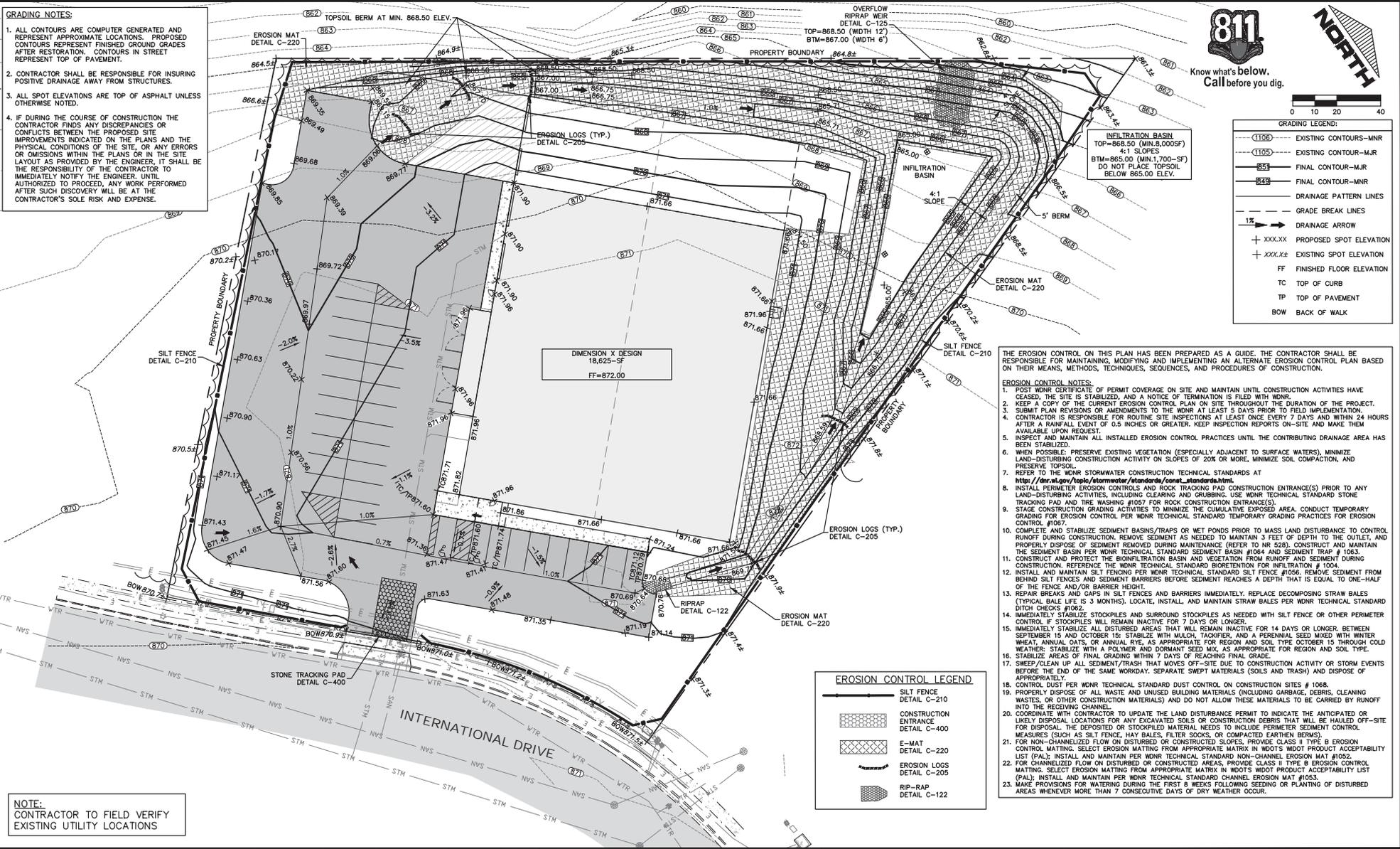
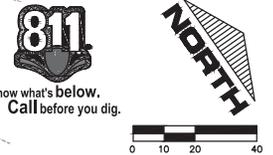
SITE & CONCEPTUAL LANDSCAPE PLAN

DIMENSION X DESIGN LLC
 DURAND BUILDERS
 LOT 4, SKY PARK
 EAU CLAIRE, WI

DWG NAME	20335 PG3	3
SITE		
DATE	10/2020	6

GRADING NOTES:

1. ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT TOP OF PAVEMENT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES.
3. ALL SPOT ELEVATIONS ARE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
4. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.



GRADING LEGEND:

- (1106) EXISTING CONTOUR-MNR
- (1105) EXISTING CONTOUR-MJR
- 863 FINAL CONTOUR-MJR
- 849 FINAL CONTOUR-MNR
- DRAINAGE PATTERN LINES
- GRADE BREAK LINES
- 1% DRAINAGE ARROW
- + XXX.XX PROPOSED SPOT ELEVATION
- + XXX.XE EXISTING SPOT ELEVATION
- FF FINISHED FLOOR ELEVATION
- TC TOP OF CURB
- TP TOP OF PAVEMENT
- BOW BACK OF WALK

THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

- EROSION CONTROL NOTES:**
1. POST WDR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDR.
 2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
 3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
 4. CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
 5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
 6. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS). MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITIES ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
 7. REFER TO THE WDR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wi.gov/topic/stormwater/standards/consul_standards.html.
 8. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
 9. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
 10. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS OR WET POND PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE (REFER TO NR 528). CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDR TECHNICAL STANDARD SEDIMENT BASIN #1064 AND SEDIMENT TRAP # 1065.
 11. CONSTRUCT AND PROTECT THE BIOPERMEATION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION # 1004.
 12. INSTALL AND MAINTAIN SILT FENCES PER WDR TECHNICAL STANDARD SILT FENCE #1066. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
 13. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDR TECHNICAL STANDARD DITCH CHECKS #1062.
 14. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
 15. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE. AS APPROPRIATE FOR REGION AND SOIL TYPE. BETWEEN OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
 16. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
 17. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
 18. CONTROL DUST PER WDR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
 19. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
 20. COORDINATE WITH CONTRACTOR TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAILED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERM).
 21. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WDOT PRODUCT ACCEPTABILITY LIST (PAL). INSTALL AND MAINTAIN PER WDR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
 22. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT'S WDOT PRODUCT ACCEPTABILITY LIST (PAL). INSTALL AND MAINTAIN PER WDR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
 23. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

EROSION CONTROL LEGEND

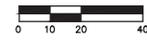
- SILT FENCE DETAIL C-210
- CONSTRUCTION ENTRANCE DETAIL C-400
- E-MAT DETAIL C-220
- EROSION LOGS DETAIL C-205
- RIP-RAP DETAIL C-122

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

					PROJ. NO. 20335		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR, SUITE #1 EAU CLAIRE, WI 54701 PH: 715-552-0330 Info@aec.engineering COPYRIGHT 2020 AEC LLC.	GRADING & EROSION CONTROL PLAN		DIMENSION X DESIGN LLC DURAND BUILDERS LOT 4 SKY PARK EAU CLAIRE, WI	DWG NAME 20335 PG4 GRADING	4
NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED						DATE 10/2020	6

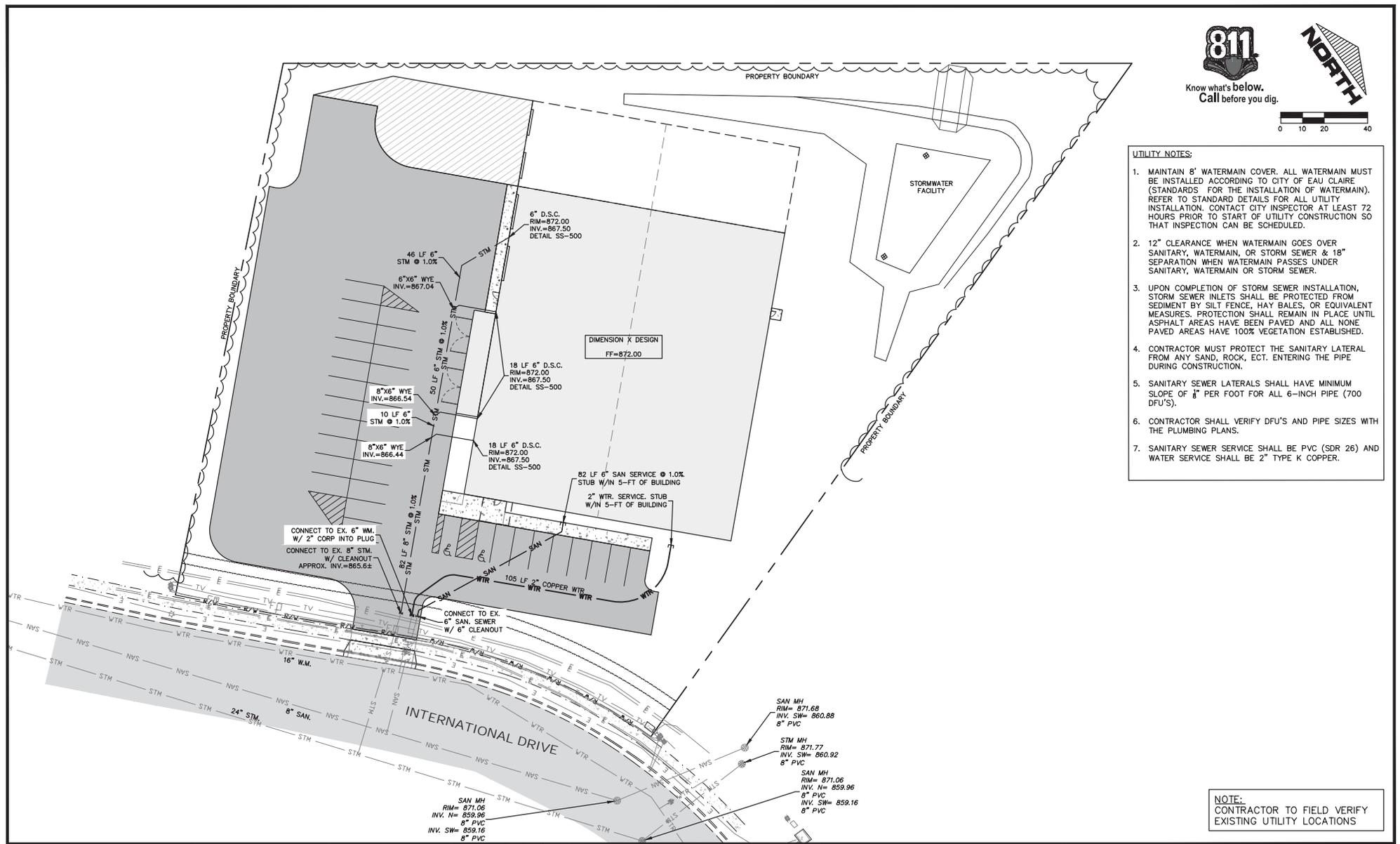


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- UTILITY NOTES:**
1. MAINTAIN 8' WATERMAIN COVER. ALL WATERMAIN MUST BE INSTALLED ACCORDING TO CITY OF EAU CLAIRE (STANDARDS FOR THE INSTALLATION OF WATERMAIN). REFER TO STANDARD DETAILS FOR ALL UTILITY INSTALLATION. CONTACT CITY INSPECTOR AT LEAST 72 HOURS PRIOR TO START OF UTILITY CONSTRUCTION SO THAT INSPECTION CAN BE SCHEDULED.
 2. 12" CLEARANCE WHEN WATERMAIN GOES OVER SANITARY, WATERMAIN, OR STORM SEWER & 18" SEPARATION WHEN WATERMAIN PASSES UNDER SANITARY, WATERMAIN OR STORM SEWER.
 3. UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SEDIMENT BY SILT FENCE, HAY BALES, OR EQUIVALENT MEASURES. PROTECTION SHALL REMAIN IN PLACE UNTIL ASPHALT AREAS HAVE BEEN PAVED AND ALL NONE PAVED AREAS HAVE 100% VEGETATION ESTABLISHED.
 4. CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAND, ROCK, ECT. ENTERING THE PIPE DURING CONSTRUCTION.
 5. SANITARY SEWER LATERALS SHALL HAVE MINIMUM SLOPE OF $\frac{1}{8}$ " PER FOOT FOR ALL 6-INCH PIPE (700 DFU'S).
 6. CONTRACTOR SHALL VERIFY DFU'S AND PIPE SIZES WITH THE PLUMBING PLANS.
 7. SANITARY SEWER SERVICE SHALL BE PVC (SDR 26) AND WATER SERVICE SHALL BE 2" TYPE K COPPER.

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS



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PROJ. NO.
20335

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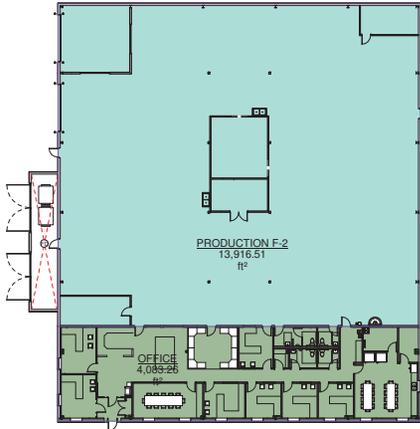
UTILITY PLAN

DIMENSION X DESIGN LLC
DURAND BUILDERS
LOT 4, SKY PARK
EAU CLAIRE, WI

DWG NAME 20335 PG6 UTILITY	5
DATE 10/2020	6

DIMENSION X DESIGN

NEW BUILDING



Area Legend

- 4,083.26 ft²
- 13,916.51 ft²

BUILDING CODE: WISCONSIN BUILDING CODE IBC/IEBC 2015
 BUILDING TYPE: 2B NON SPRINKLERED

OCCUPANCY AREA
 F-2: 13,917 SQFT (PRODUCTION OF NON-COMBUSTIBLE MATERIALS)
 B: 4,083 SQFT (NOTE: OFFICE NEEDS 2 HR SEPARATION WALLS)
 18,000 SQFT TOTAL MAIN LEVEL

(FUTURE 5,000 SQFT ADDITION)
 FUTURE 23,000 SQFT TOTAL

ALLOWABLE AREA,
 23,000 SQFT ALLOWABLE WITHOUT SPRINKLER

OCCUPANCY LOAD
 F-2: 13,917/100=140 PERSONS
 B: 4,083/100=41 PERSONS
 181 PERSONS

FUTURE 5,000/100=50 MORE PERSONS

MAXIMUM EXIT DISTANCE UNSPRINKLERED
 200'-B 300'-F-2

TOILET FACILITIES:
 F-2: 140/2=70/100=0.70+
 B: 41/2=21/25=0.84
 =1.54=2 WC FOR EA SEX
 SHOWN 2 WC FOR EA SEX=OK

FUTURE
 50/2=25/100=0.25=1.79=2 WC FOR EA SEX=OK



DESIGN CONTACT

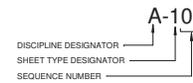
CONTACT: KELSEY SMITH
 PHONE: 715-672-5941

GENERAL CONTRACTOR

DURAND BUILDERS
 P.O. BOX 10
 DURAND, WI 54736
 PHONE: 715-672-5941
 FAX: 715-672-8886
 CONTACT:
 EMAIL:

Sheet List -G-	
Sheet Name	Sheet Number
Cover Sheet	G-101
General Site Layout	G-102

Sheet List -A-	
Sheet Name	Sheet Number
Main Level	A-101
Office Callout	A-102
Elevations	A-201
Sections	A-301



DISCIPLINE DESIGNATOR	
G	GENERAL
C	CIVIL
L	LANDSCAPE
S	STRUCTURAL
A	ARCHITECTURAL
F	FIRE PROTECTION
P	PLUMBING
M	MECHANICAL
E	ELECTRICAL
R	RESOURCE INFO

SHEET TYPE DESIGNATOR	
G	GENERAL
1	PLANS
2	ELEVATION
3	SECTIONS
4	LARGE SCALE VIEWS
5	DETAILS
6	SCHEDULES AND DIAGRAMS
7	---
8	3D VIEWS, ISOMETRICS
9	PERSPECTIVES & PHOTOS

GENERAL NOTES:

ALL WORK TO BE DONE IN COMPLIANCE WITH ALL LOCAL AND STATE BUILDING CODES.
 DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS

ALL GRADES, ALL FOUNDATION ELEVATIONS, STEP CONDITIONS AND FOOTING ELEVATIONS.
 TO BE VERIFIED BY CONTRACTOR. FOUNDATION DROPS AND FOOTING ELEVATIONS
 ON THIS PLAN MAY NOT BE ACCURATE FOR BUILDING SITE.

HALF SCALE IF PRINTED ON 11X17



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 WWW.HomeTownIBC.com

DIMENSION X DESIGN

NEW BUILDING

SKY PARK LOT #4

Project Number: 2020

FOR APPROVAL 09/23/20

Date

Description

No.

DESIGNED BY: KMS
 DRAWN BY: KMS
 CHECKED BY: KMS

Cover Sheet

G-101
 As indicated

P:\Dimension X Design\60Drawings\Rev\DIMENSION X DESIGN.rvt

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WWW.HomeTownLBC.com

DIMENSION X DESIGN
NEW BUILDING
SKY PARK LOT #4
Project Number: 2020
FOR APPROVAL 09/10/20

No.	Description	Date

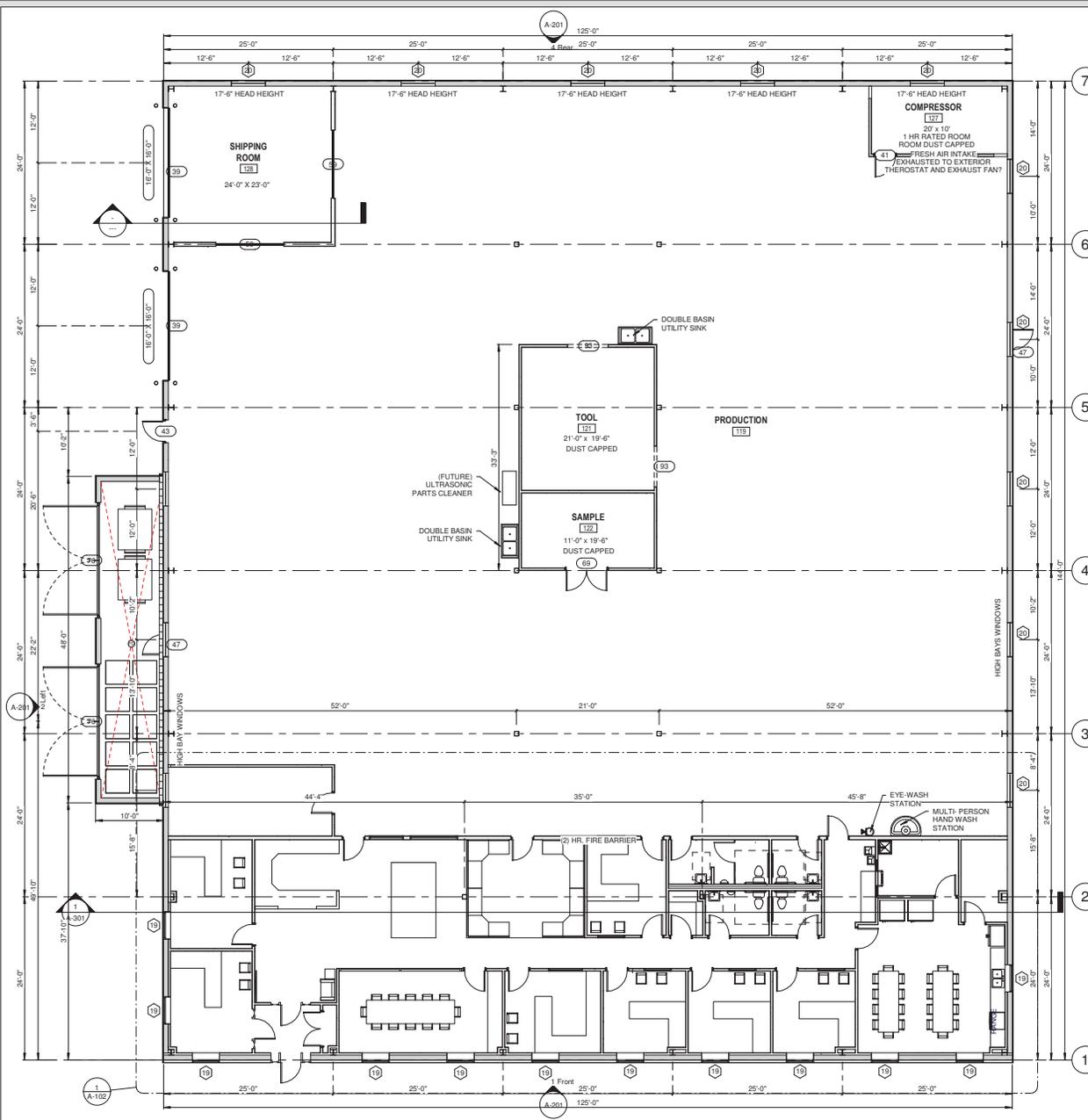
Issue Date
DESIGNED BY: KMS
DRAWN BY: KMS
CHECKED BY: KMS

General Site Layout
G-102
1" = 30'-0"

P:\Dimension X Design - 86Drawings\Rev\DIMENSION X DESIGN\SITE PLAN USE ONLY.rvt 9/10/2020 11:57:28 AM

① Site
1" = 30'-0"





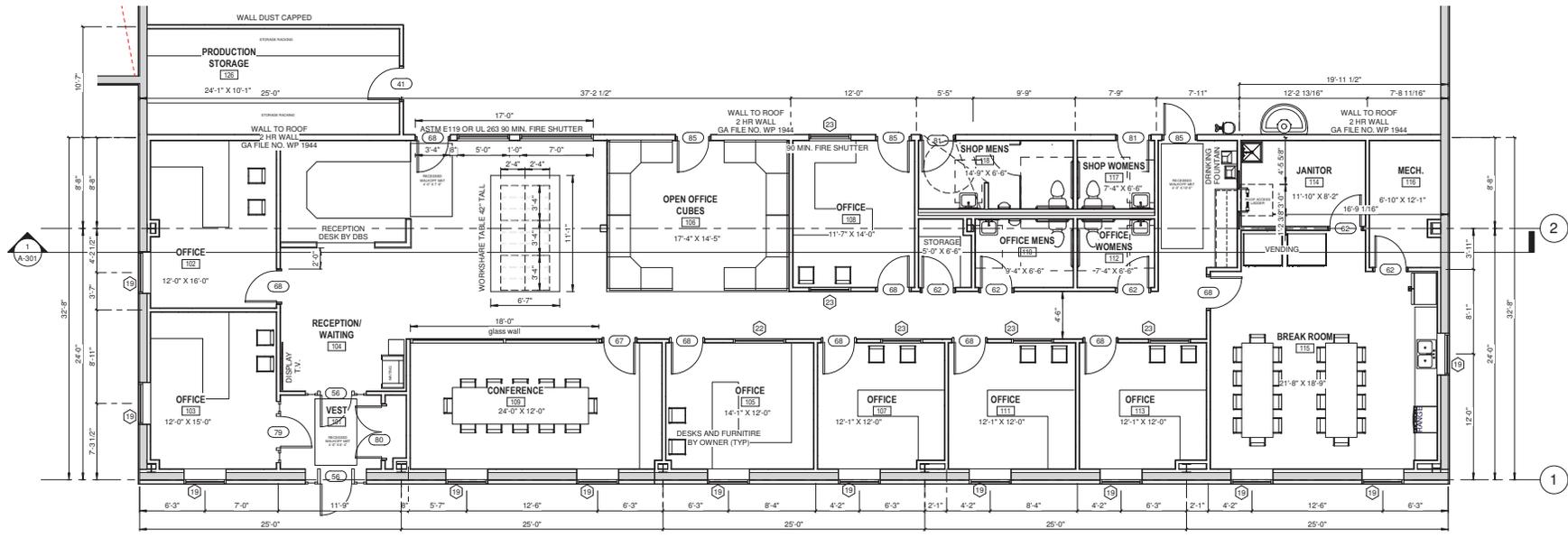
Single Window Schedule at.

Window Type	Count	Window Description	Type	Comments
19	12	Aluminum_Exterior_Window_-_Single	48"W. x 48"H.	
20	13	Aluminum_Exterior_Window_-_Single	60"W. x 36"H.	
22	1	Aluminum_inter_Window_-_Single	60"W. x 48"H.	HM FRAME
23	5	Aluminum_inter_Window_-_Single	48"W. x 48"H. HM FRAME	HM FRAME
24	1	Aluminum_inter_Window_-_Single	60"W. x 48"H. HM FRAME	HM FRAME
25	1	Aluminum_inter_Window_-_Single	84"W. x 48"H. HM FRAME	HM FRAME

Door Schedule at.

Function	Type Mark	Count	Family and Type	Rough Width	Rough Height
Exterior	39	2	Commercial O.H. DOOR: 16' X 16' O.H. DOOR	16'-3"	16'-1"
Interior	41	2	Hollow Metal Door Hollow Metal Frame: 3/0 X 7/0	3'-4"	7'-2"
Exterior	43	1	Hollow Metal Door_With_Glass-insulated: 3/0 X 7/0 Half Lite	3'-4"	7'-2"
Exterior	47	2	Hollow Metal Door Insulated with Hollow Metal Frame: 3/0 X 7/0	3'-4"	7'-2"
Exterior	56	2	Store Front Full Glass Door and Frame with sidelights: 3/0 x 7/0 W/(2) SL	5'-9 1/2"	7'-2"
Interior	59	2	Strip_curtain_door_12487: 10' X10'		
Interior	62	5	Solid Wood Door Hollow Metal Frame: 3/0 X 7/0	3'-4"	7'-2"
Interior	67	1	Solid Wood Door_With_Glass: 3/0 X 7/0 Full Lite	3'-4"	7'-2"
Interior	68	8	Solid Wood Door_With_Glass: 3/0 X 7/0 Half Lite	3'-4"	7'-2"
Interior	69	1	Hollow Metal Door_Double Hollow Metal Frame: 3/0 X 7/0 Full Glass Dbl. Dr.	6'-4"	6'-0"
Exterior	76	2	Double_Gate_Trash_Enclosure_5305: 16' W x 8' H	16'-0"	8'-0"
Exterior	79	1	Store Front Full Glass Door and Frame with sidelights: 3/0 x 7/0 W/ SL WOOD OPTION	5'-9 1/2"	7'-2"
Interior	80	1	Hollow Metal Door_Double Hollow Metal Frame: 2/6 X 7/0 Dbl. Dr WOOD	5'-4"	7'-2 1/2"
Interior	81	2	Solid Wood Door Hollow Metal Frame: 3/0 X 7/0 Wood Dr. HM Frame 90 min. fire rating	3'-4"	7'-2"
Interior	85	3	Solid Wood Door_With_Glass: 3/0 X 7/0 Wd Door HM frame Half Lite 90 min. fire rating	3'-4"	7'-2"
Interior	93	2	Door-Opening: 6' x 84"	6'-0"	7'-0"

1 Level 1 Main Level
 1/8" = 1'-0"



1 Level 1 Main Level - Callout 1
3/16" = 1'-0"

Room Finish Schedule

Room Info	Room Number	Name	Area	Perimeter	Floor	Floor Finish	Base	Wall	Wall Finish	Ceiling	Ceiling Finish	Height	Comments
101	VEST	67.29 sq ft	33'-2 11/16"	33'-2 11/16"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
102	OFFICE	189.79 sq ft	57'-6 11/16"	57'-6 11/16"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
103	OFFICE	178.33 sq ft	53'-10 1/4"	53'-10 1/4"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
104	RECEPTION/ WAITING	1,004.22 sq ft	266'-2 1/2"	266'-2 1/2"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
105	OFFICE	168.68 sq ft	52'-2 1/4"	52'-2 1/4"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
106	OPEN OFFICE CUBES	250.28 sq ft	63'-6 3/4"	63'-6 3/4"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
107	OFFICE	142.9 sq ft	48'-2 1/4"	48'-2 1/4"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
108	OFFICE	162.19 sq ft	51'-2"	51'-2"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
109	CONFERENCE	287.55 sq ft	72'-0 1/4"	72'-0 1/4"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
110	OFFICE MENS	60.73 sq ft	31'-8 1/4"	31'-8 1/4"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	EPOXY PAINTED 5/8" GYP			DROPPED SHEETROCK 2X2 ACT		9'-9"	
111	OFFICE	145.13 sq ft	48'-2 1/4"	48'-2 1/4"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
112	OFFICE WOMENS	47.73 sq ft	27'-8 1/4"	27'-8 1/4"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	EPOXY PAINTED 5/8" GYP			DROPPED SHEETROCK 2X2 ACT		9'-9"	
113	OFFICE	142.61 sq ft	48'-2 1/4"	48'-2 1/4"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
114	JANITOR	96.54 sq ft	39'-11 3/4"	39'-11 3/4"	SEALED CONCRETE	NONE	EPOXY PAINTED 5/8" GYP			PAINTED 5/8" GYP		10'-5"	
115	BREAK ROOM	451.92 sq ft	88'-9 1/4"	88'-9 1/4"	SALT AND PEPPER GROUND CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED 2X2 ACT		9'-9"	
116	MECH.	79.97 sq ft	40'-4 3/4"	40'-4 3/4"	SEALED CONCRETE	NONE	PAINTED 5/8" GYP			PAINTED 5/8" GYP		10'-5"	
117	SHOP WOMENS	47.66 sq ft	27'-8"	27'-8"	SEALED CONCRETE	VINYL BASE	EPOXY PAINTED 5/8" GYP			DROPPED SHEETROCK 2X2 ACT		9'-9"	
118	SHOP MENS	94.77 sq ft	47'-6"	47'-6"	SEALED CONCRETE	VINYL BASE	EPOXY PAINTED 5/8" GYP			DROPPED SHEETROCK 2X2 ACT		9'-9"	
119	PRODUCTION	11,909.32 sq ft	467'-9 3/4"	467'-9 3/4"	SEALED CONCRETE	NONE	LINER 8" TALL SIMPLE SAVER ABOVE			EXPOSED SIMPLE SAVER		20'-0"	
121	TOOL	410.55 sq ft	81'-1 1/4"	81'-1 1/4"	SEALED CONCRETE	NONE	PAINTED 5/8" GYP			PAINTED 5/8" GYP		14'-0"	
122	SAMPLE	214.73 sq ft	61'-0 1/2"	61'-0 1/2"	SEALED CONCRETE	NONE	PAINTED 5/8" GYP			PAINTED 5/8" GYP		14'-0"	
126	PRODUCTION STORAGE	242.77 sq ft	68'-4"	68'-4"	SEALED CONCRETE	VINYL BASE	PAINTED 5/8" GYP			DROPPED SHEETROCK 2X2 ACT		9'-9"	
127	COMPRESSOR	200 sq ft	60'-0"	60'-0"	SALT AND PEPPER GROUND CONCRETE	NONE	PAINTED 5/8" GYP			PAINTED 5/8" GYP		14'-0"	
128	SHIPPING ROOM	550.78 sq ft	93'-10 3/4"	93'-10 3/4"	SALT AND PEPPER GROUND CONCRETE	NONE	LINER 8" TALL SIMPLE SAVER ABOVE			EXPOSED SIMPLE SAVER		14'-0"	



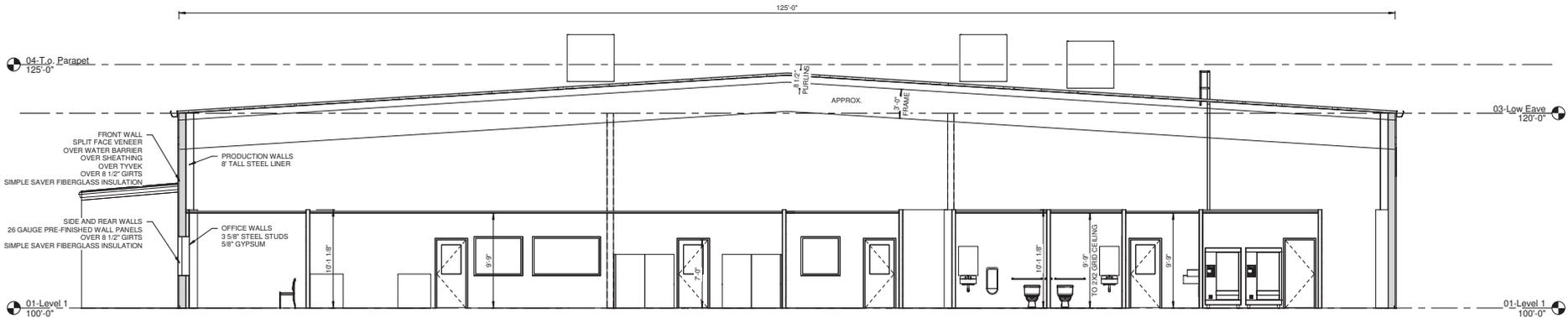
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DIMENSION X DESIGN
NEW BUILDING
SKY PARK LOT #4
Project Number: 2020
FOR APPROVAL 09/23/20

Date	Description	No.	Issue Date
			DESIGNED BY: KMS DRAWN BY: KMS CHECKED BY: KMS

Sections
A-301
3/16" = 1'-0"



Section 1
3/16" = 1'-0"

GA FILE NO. WP 1944	PROPRIETARY*	2 HOUR FIRE
GYPSUM PANEL PRODUCTS, STEEL STUDS		
<p>Base layer 1/2" proprietary type X gypsum wallboard or gypsum panel products applied parallel to each side of 2 1/2" proprietary steel studs 24" o.c. with 1" Type S drywall screws 12" o.c. at top and bottom track and 16" o.c. at studs. Face layer 1/2" proprietary type X gypsum wallboard or gypsum panel products applied parallel to each side of studs with 1 1/2" Type S drywall screws 12" o.c. at top and bottom runner and 16" o.c. at studs. Face layer joints offset 24" from base layer joints.</p> <p>Joints staggered 24" each layer and side. (N.L.B.)</p>		
<p>PROPRIETARY GYPSUM PANEL PRODUCTS</p> <p>American Gypsum Company LLC - 1/2" FireBloc® Type X Georgia-Pacific Gypsum LLC - 1/2" DensArmor Plus® Froguard® Interior Guard Lafarge North America Inc. - 1/2" Firecheck® Type X</p>		<p>Thickness: 5"</p> <p>Approx. Weight: 9 psf</p> <p>Fire Test: UL R14196, 07NK11544, 8-6-02, UL Design V450</p>
NOTE: STUD SIZE TO BE DETERMINED		



0 45 90 180 Feet

Aerial Map
Agenda Item: SP-2034
Address: 1262 International Drive





Staff Report

To: Plan Commission Hearing Date:
 Plan Commission: 10/19/20, 7:00 p.m.
 City Hall, Council Chambers

From: Community Development

File No.: SP-1921 Amd #2

Agenda Item: Request for approval to amend the site plan for a bank located at 2425 London Road.

Applicant: Kapur Inc. Property Owner: Midland Commercial Development Corp.

Surrounding Land Use: North: Commercial (C-3 zoning)
 East: Hastings Way
 South: Commercial (C-3 zoning)
 West: Commercial (C-3 zoning)

Area: +/- 2 acres

Existing Zoning: C-3

Proposed Zoning: Same

Existing Land Use: Vacant

Proposed Land Use: Bank

Recommendation: If the Plan Commission finds compliance with the general provisions of City Code, the Commission should approve the site plan with staff conditions.

Analysis: Kapur Inc. on behalf of the owner, Midland Commercial Development Corp. is requesting approval to amend the site plan for an Associated Bank located at 2425 London Road. In August 2018, the Plan Commission approved a single-story 3,600 square foot building. In June 2020, the Plan Commission approved a two-story 8,500 square foot building. Attached is the new site plan with building elevations and narrative from the applicant. The zoning of the property is zoned C-3.

The new proposed building is a one-story 4,360 square foot Associated Bank. The one-story bank branch has a glass signage tower within the architecture of the building, with a maximum height of 30' 7". The drive through lanes have three for customers and one for the ATM. The drive lane leading to the drive-thru should be reduced from 26 feet wide to 12 feet wide because this is only one-way traffic for customers. The existing building on the site has been demolished which was recently the Halloween Express store, prior to that was the Bargain City store, and prior to that it was the Hancock Fabrics.

The landscape plan shows foundation plantings and street trees with trees throughout the site as well. This site will have significantly more landscape and greenspace than the existing site. The narrative notes that the parking requirement is 1 stall per 200 square feet, but per the parking requirement it should be noted as 1 stall per 300 square feet. The requirement would be 15 stalls and the site plan shows 26 stalls total. The narrative provided by the applicant states 15 employees are anticipated at this location and this location is anticipated to have a high level of in-branch customer transactions. The site plan shows four stalls are shared

parking with the approved Panda Express; however, it appears this site plan did not include the two stalls north of the shared stalls. The Plan Commission will need to determine compliance with the parking standards because this proposed site plan is over the 125% maximum allowance per the ordinance. Bicycle parking is noted on the site plan for four bikes. The dumpster enclosure should be fully enclosed per city standards. The pedestrian connection to the public sidewalk is shown on the site plan. All proposed signs are reviewed by a sign permit prior to installing. A certified survey map is required for the proposed development of this parcel and the parcel to the north.

Grading and Drainage: The site is tributary to Otter Creek at the Henry Avenue outfall. Storm water best management practices (BMP's) are required to improve runoff water quality. The narrative states that a bio-retention cell will be proposed as the BMP. The threshold for redevelopment BMP's identified in NR151 is a 40% reduction in Total Suspended Solids. Calculations will need to be submitted showing that requirement is met. A utility plan and grading plan will need to be submitted for review.

Public Utilities: Water and sewer service is available to the site; record dimensions of public facilities can be obtained by calling the Engineering Department. Utility connections may require a work in the right-of-way permit and a plumbing permit. Fire sprinkler designs should be based on current fire hydrant flow tests.

Traffic: The traffic generated by the proposed improvements should not adversely impact traffic flow in the area. London Road is a minor arterial roadway with adequate capacity to handle the proposed additional trips generated.

The plan calls for utilization of the existing driveway approaches, one on London Road and one on Mall Drive; both approaches are 24 feet in width. The plan also shows three separate driveways to access the existing parking lot to the parcel immediately south of the proposed site, as well as three driveways accessing the proposed parcel immediately north. Access easements will need to be obtained for the six driveways to the adjacent parcels.

There is an existing sidewalk gap along the east side of London Road to Clairemont Avenue from the proposed development. Sidewalk is proposed along the west side of the property, east side of London Road, to the front door of the development. Additionally, a connection is proposed continuing to the sidewalk north on private property to connect with the proposed sidewalk within the parcel adjacent to the north. The sidewalk connection to the north outside of the City right-of-way would need to have an easement by the City of Eau Claire for sidewalk on private property due to the needed geometry of the London Road and USH 12 (Clairemont Avenue) intersection. Additionally, an easement would be needed from the property to the north as well for a sidewalk connection. The City is working with the Wisconsin Department of Transportation to provide an east/west pedestrian crossing at the intersection of London Road and USH 12 to help eliminate the connectivity gap through this area.

Transit: This site is located approximately two blocks from bus stops for Route 6 and Route 1. Minimal demand for public transit is expected with this development.



October 19, 2020

DRAFT

Kapur Inc.
7771 N. Port Washington Road
Milwaukee, WI 53217

RE: SP-1921 Amendment #2, 2425 London Road – Associated Bank – Plan Commission Site Plan Review

Dear Applicant:

The Plan Commission, at its October 19, 2020 meeting, reviewed the above-referenced site plan.

A. Conditions to be shown/satisfied on a revised site plan:

The following conditions must be satisfied prior to it being approved:

1. Reduce the one-way lane from 24' to 12' and add an arrow.
2. City of Eau Claire Engineering Department approval of drainage calculations and drainage plan.
3. Submit a utility plan, grading plan, and storm water calculations for water quality treatment.
4. Complete cross-access agreements with parcels north and south of the proposed site.
5. Enter into agreement with City of Eau Claire for permanent easement of sidewalk and pedestrian use of on-site sidewalk.
6. A certified survey map is required with this property to correct lot lines with the parcel to the north (proposed Panda Express).

After the conditions noted above are met, a building permit may be issued.

B. Conditions to be met prior to occupancy permit:

Conditions which must be met prior to issuance of the occupancy permit for this project include:

1. Bicycle parking should be in compliance with city standards.
2. Dumpster enclosure should be fully screened.
3. All proposed signs are reviewed by a sign permit prior to installing.

Any changes in your site plan must be reviewed by the Department of Community Development. Please contact me at 715-839-4914 if you have any questions or if you need additional information.

Sincerely,

Ryan Petrie
Associate Planner

c: File, Calvin Miller

Plan Commission Project Narrative for Associated Bank

Address: 2425 London Road, Eau Claire, WI 54701

Existing Zoning: C-3 – Community Commercial District

Proposed Zoning: C-3 – Community Commercial District

Project Description:

The subject site consists of an existing storefront building and mainly asphalt parking areas with very little landscaping areas. The area of the subject parcel is 87,212 SF or 2.00 Acres in which the entire parcel is intended to be disturbed as part of the proposed project.

The proposed site improvements include demolition of the existing building and asphalt parking areas and construction of a 4,360 SF one-story bank branch with a glass signage tower reaching a maximum height of 30'-7". The site improvements include new asphalt parking lots and drive lanes, concrete sidewalks, utility improvements, mass grading and construction of a new storm water management device. The storm water management device will likely be in the form of a bio-retention basin or underground storage pipe designed to meet City of Eau Claire and WDNR requirements.

The submitted design is an update to the previously submitted and approved 8,300 SF, 2-story branch design at the same location. The material palette has remained unchanged with high-quality cladding materials of brick, natural stone, metal panel and glass. The 1-story bank branch has a 2-plus story glass tower on London Road, and a 2-story stone feature wall on the east elevation, increasing the building's presence on these key elevations while screening rooftop mechanical equipment. The addition of a second customer entrance on the east side increases customer accessibility to the branch lobby from the eastern parking areas.

Site Statistics:

Building Use:

- Bank
 - o Per City of Eau Claire Title 18 – Zoning Code, Chapter 18.05.040(C)(3), banks are categorized as a "Accessory use to personal service" in which is a permitted use within the C-3 – Community Commercial District.

Maximum Building Height:

- 30'-7"
 - o Per City of Eau Claire Title 18 – Zoning Code, Chapter 18.05.050(A)(2), "there shall be no height limit in the C-3"

Parking:

- 26 Stalls Total (Including 2 ADA Stalls)
 - o Per City of Eau Claire Title 18 – Zoning Code, Chapter 18.25.030(A)(24), Offices and Banks shall have one space for every 300 square feet of gross floor area. The maximum total square footage of the proposed building is 4,360 SF, therefore 15 parking stalls are required to meet the minimum required by code.
 - Per prior conversations with City of Eau Claire planning staff, an allowance was offered for the quantity of parking stalls to be increased to 125% of the minimum amount. In this case, 125% of 15 stalls equals 19 stalls.





- The proposed bank project includes 26 stalls, 4 of which are to be shared with the future establishment to the north, which will be constructed as part of the master development.
 - The bank project is also part of a master development with the adjacent parking to the north.
- Justification for Quantity of Proposed of Parking Stalls:
 - 15 employees are anticipated at this branch. The interior of the branch will house 9 offices for customer-facing bankers, and 6 teller positions to service the expected high transaction counts.
 - This branch is anticipated to have a high level of in-branch customer transactions. Based upon projected transaction counts, the bank is anticipating that this branch will be in the within the top 5-10 busiest branches of their entire network of 240 locations. The bank is planning for the long-term, anticipating a return to pre-COVID-19 levels of in-branch activity.
 - Projected monthly transactions for the new branch are 9,500-10,000, with 65% of the total transactions being in building, necessitating the additional customer parking stalls.
 - The new branch will be replacing the existing Mall Drive branch, which is currently staffed at a similar level. That site currently has 21 stalls and is chronically under-parked; staff routinely park off-site in order to provide adequate customer parking.
 - In addition to Mall Drive, the existing Regis Court branch location will be consolidated into the new building, adding to the anticipated parking demand.
- Stall Dimensions
 - 9'W x 18'L per City of Eau Claire Title 18 – Zoning Code, Chapter 18.25.040 diagrams for 90-degree parking.
- Aisle Width
 - 24' W per City of Eau Claire Title 18 – Zoning Code, Chapter 18.25.040 diagrams for 90-degree parking.

Bicycle Parking:

- 4 Bike Parking Spaces (Two Racks)
 - Per City of Eau Claire Title 18 – Zoning Code, Chapter 18.25.031(A)(6)(c), one bicycle space is required per 10 required automobile spaces in non-residential uses. For this project, 22 automobile parking spaces are required, therefore two bicycle parking spaces are required.

Impervious Areas:

- Existing Impervious Area: 87,212 SF
- Proposed Impervious Area: 40,340 SF
- There will be a reduction in impervious area of 46,872 SF (1.07 Acres).
- The overall development would look to re-establish new property lines. The impervious area calculation was based on existing property lines.

Design/Construction Schedule:

- Plan Commission Submittal: September 25, 2020
- Plan Commission Meeting: October 19, 2020
- City Council Meeting: October 27, 2020
- Design and Construction Documents: March 31, 2021 Completion (18 Weeks)
- Bidding/Contracts/Permitting: April 30, 2021 Completion (4 Weeks)
- Construction Start: Spring of 2021
- Construction End: Fall of 2021





Please review the above narrative, site statistics and attached drawings and let me know if you have any additional questions or comments. Thank for your time and efforts during the review and approval process.

Thanks,

Ryan Birschbach, P.E.

Kapur

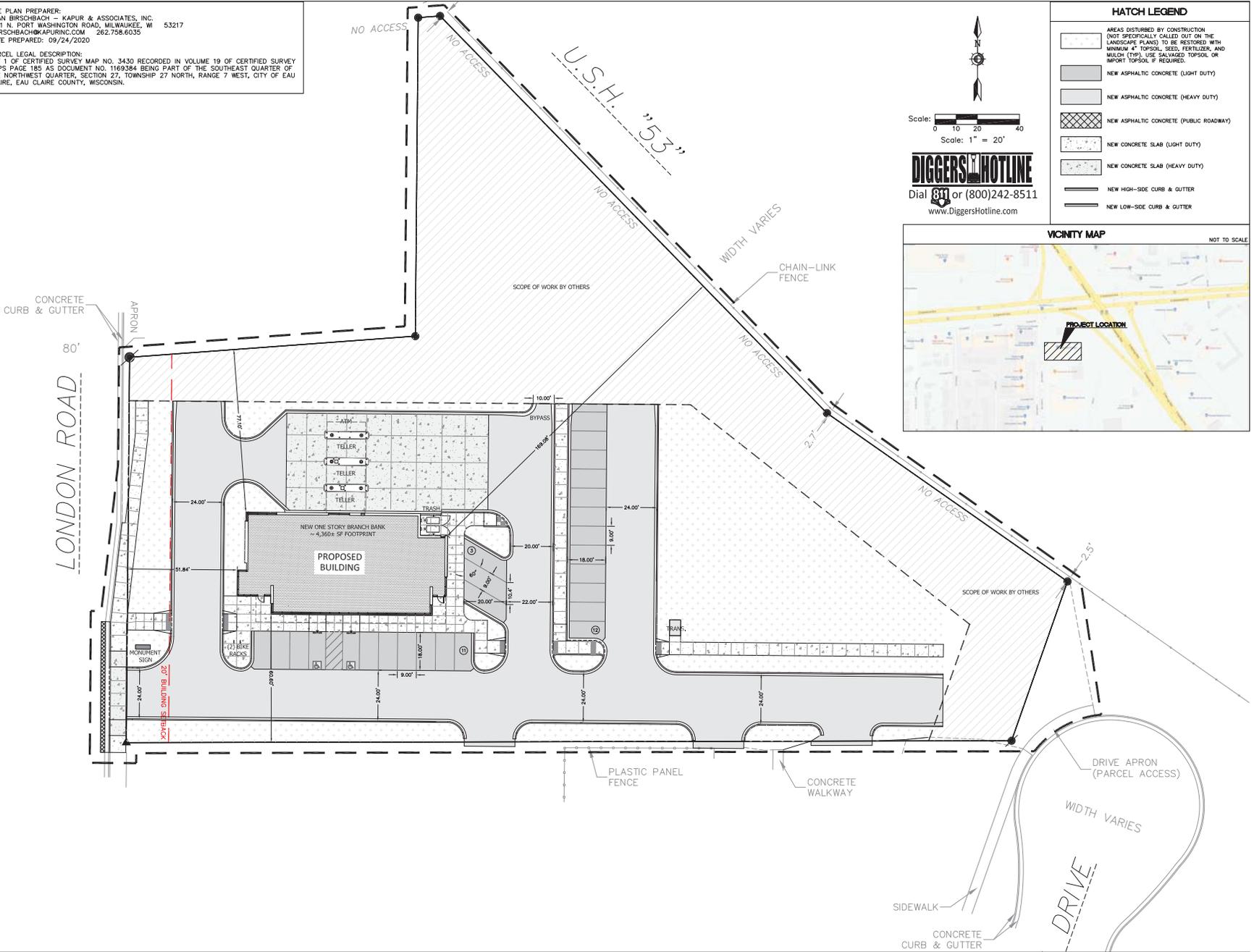
Direct: 262-758-6035

Email: rbirschbach@kapurinc.com



SITE PLAN PREPARER:
 RYAN BIRSCHBACH — KAPUR & ASSOCIATES, INC.
 7771 N. PORT WASHINGTON ROAD, MILWAUKEE, WI 53217
 RBIRSCHBACH@KAPURINC.COM 262.758.6035
 DATE PREPARED: 09/24/2020

PARCEL LEGAL DESCRIPTION:
 LOT 1 OF CERTIFIED SURVEY MAP NO. 3430 RECORDED IN VOLUME 19 OF CERTIFIED SURVEY MAPS PAGE 185 AS DOCUMENT NO. 1169384 BEING PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, SECTION 27, TOWNSHIP 27 NORTH, RANGE 7 WEST, CITY OF EAU CLAIRE, EAU CLAIRE COUNTY, WISCONSIN.



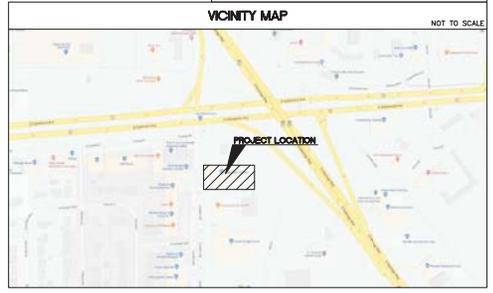
HATCH LEGEND

AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.

- NEW ASPHALTIC CONCRETE (LIGHT DUTY)
- NEW ASPHALTIC CONCRETE (HEAVY DUTY)
- NEW ASPHALTIC CONCRETE (PUBLIC ROADWAY)
- NEW CONCRETE SLAB (LIGHT DUTY)
- NEW CONCRETE SLAB (HEAVY DUTY)
- NEW HIGH-SIDE CURB & GUTTER
- NEW LOW-SIDE CURB & GUTTER

Scale: 0 10 20 40
 Scale: 1" = 20'

DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

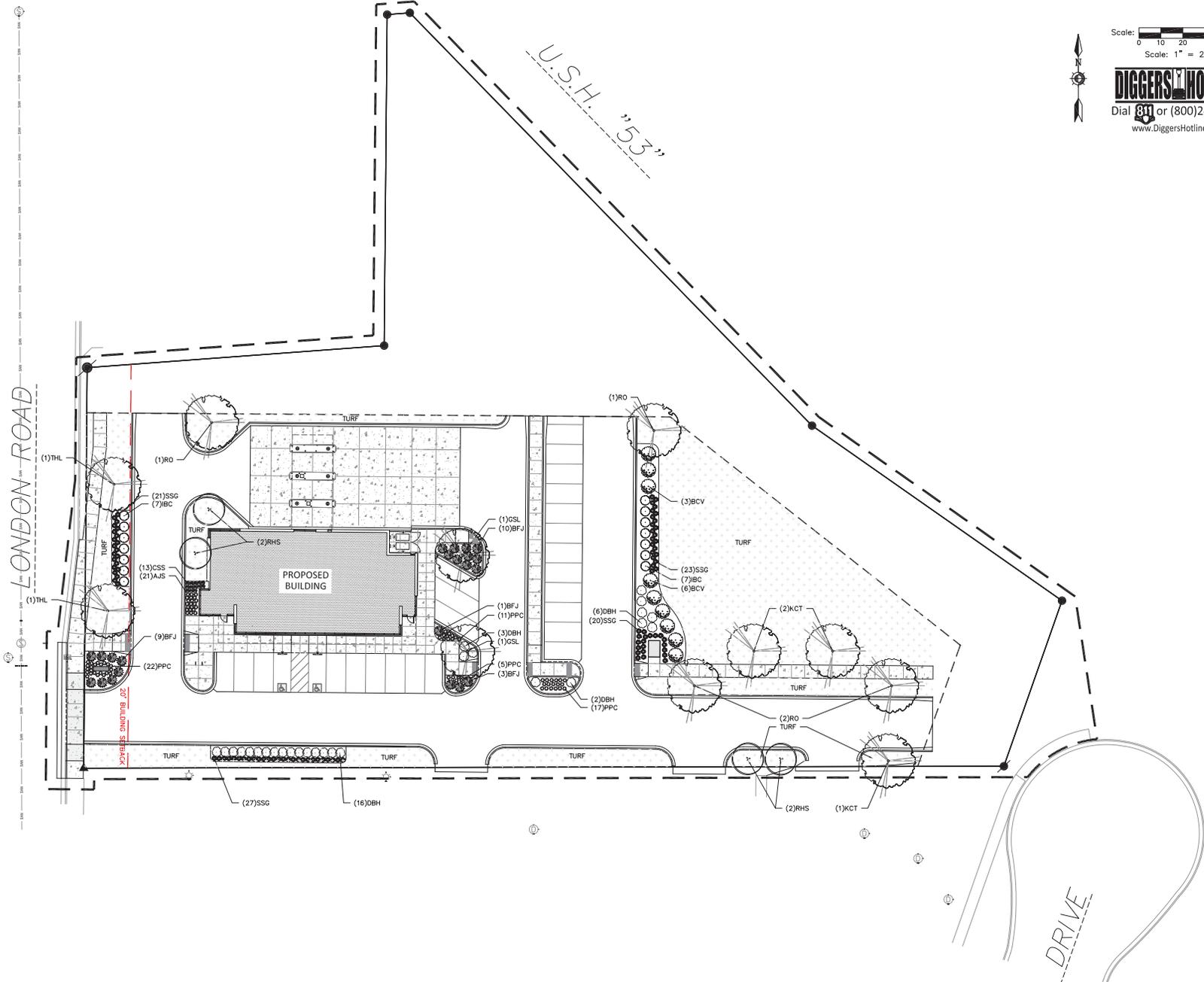


△ Revisions

PLAN COMMISSION
 ASSOCIATED BANK
 2425 LONDON ROAD
 CC 88063

Address
 Date Issued: 09/24/2020
 RINKA project #: 88063
 Sheet Title
SITE LAYOUT PLAN

Sheet # **C102**



△ Revisions

PLAN COMMISSION
 ASSOCIATED BANK
 2425 LONDON ROAD
 CC 88063

Address
 Date Issued: 09/24/2020
 RINKA project #: 88063
 Sheet Title
SITE LANDSCAPE PLAN

Sheet # **L101**

Plant Schedule

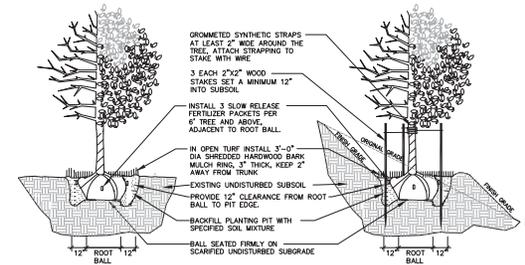
Scientific Name	Common Name	Quantity	Spacing	Install Size	Size	
					Maturity in ft. (Height/Spread)	
Deciduous Trees:						
KCT	Gymnocladus dioica 'Espresso'	Espresso Kentucky Coffee Tree	3	Per Plan	2.5" caliper B&B	60'/35'
GS	Tilia cordata 'Greenspire' PP 2086	Greenspire Linden	2	Per Plan	2" caliper B&B	40-50'/30-35'
RHS	Amerlancheier x grandiflora 'Robin Hill'	Robin Hill Serviceberry	4	Per Plan	1.5" caliper B&B	20-25'/12-15'
RO	Quercus rubra	Red Oak	4	Per Plan	2.5" caliper B&B	60-75'/60-75'
THL	Gleditsia triacanthos var. inermis	Thomless Honeylocust	2	Per Plan	2.5" caliper B&B	50-60'/35-40'
Deciduous Shrubs:						
BVC	Viburnum trilobum 'Bailey Compact'	Bailey Compact Viburnum	10	Per Plan	#2 coil	5-6'/5-6'
DBH	Derivilla lonicera	Dwarf Bush Honeysuckle	27	Per Plan	#2 coil	3-4'/4-5'
IBC	Amsia melanocarpa 'Morfon'	Irrigous Beauty Black Chokeberry	14	Per Plan	#2 coil	5-6'/4-5'
Evergreen Shrubs:						
BFJ	Juniperus sabinna 'Buffalo'	Buffalo Juniper	23	Per Plan	#2 coil	1'-4'-6'
Perennials:						
AJS	Sedum x 'Autumn Joy'	Autumn Joy Sedum	13	Per Plan	#1 coil	12"/24"
CSS	Panicum virgatum 'Cheyenne Sky'	Cheyenne Sky Switchgrass	21	Per Plan	#1 coil	18-24"/12-18"
PPC	Heuchera mcrantha 'Palace Purple'	Palace Purple Coralbells	55	Per Plan	#1 coil	24"/12-18"
SSG	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	91	Per Plan	#1 coil	36-54"/24-36"

NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

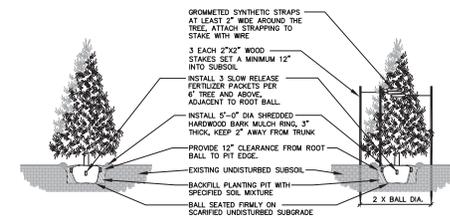
1 LANDSCAPE SCHEDULE REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
- CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
- BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
- LANDSCAPE EDGING TO BE ALUMINUM EDGING. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH OVER TYPAR WEED FABRIC WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ADJUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "Y" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
- REMOVE BURLAP, WIRE BASKET, ROPE, THINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
- REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
- PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
- PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
- PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
- PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
- WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL, SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
- FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
- INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
- STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GRONMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE. ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND THIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

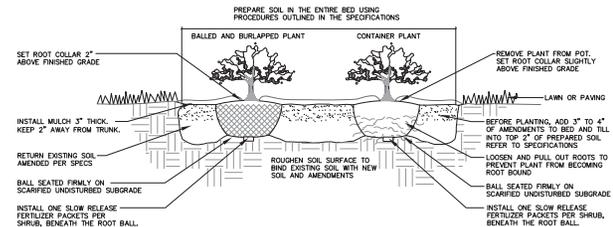
2 LANDSCAPE NOTES REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



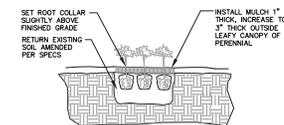
3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE
N.T.S.



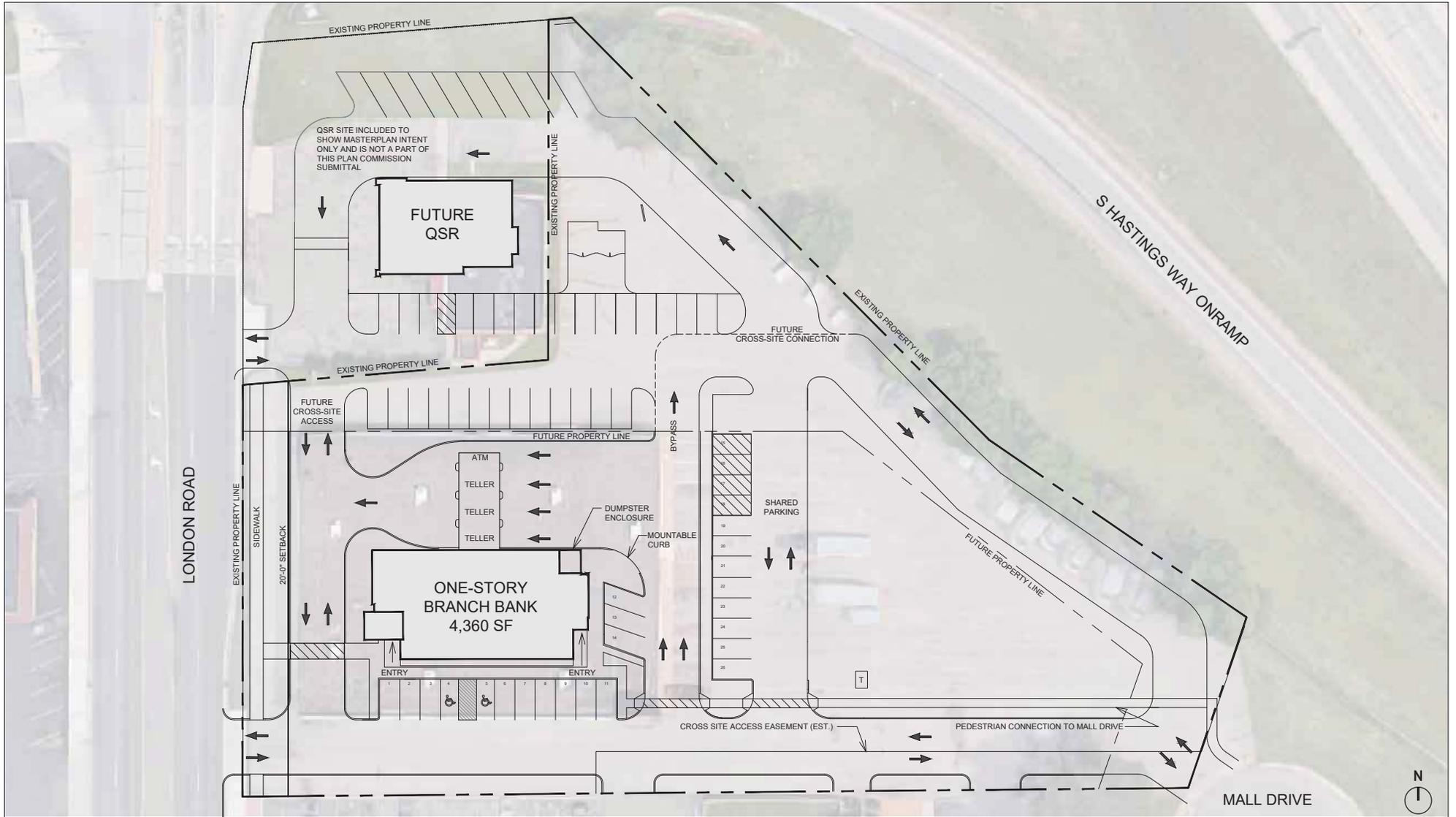
4 EVERGREEN TREE PLANTING & STAKING
N.T.S.



5 DECIDUOUS & EVERGREEN SHRUB PLANTING
N.T.S.

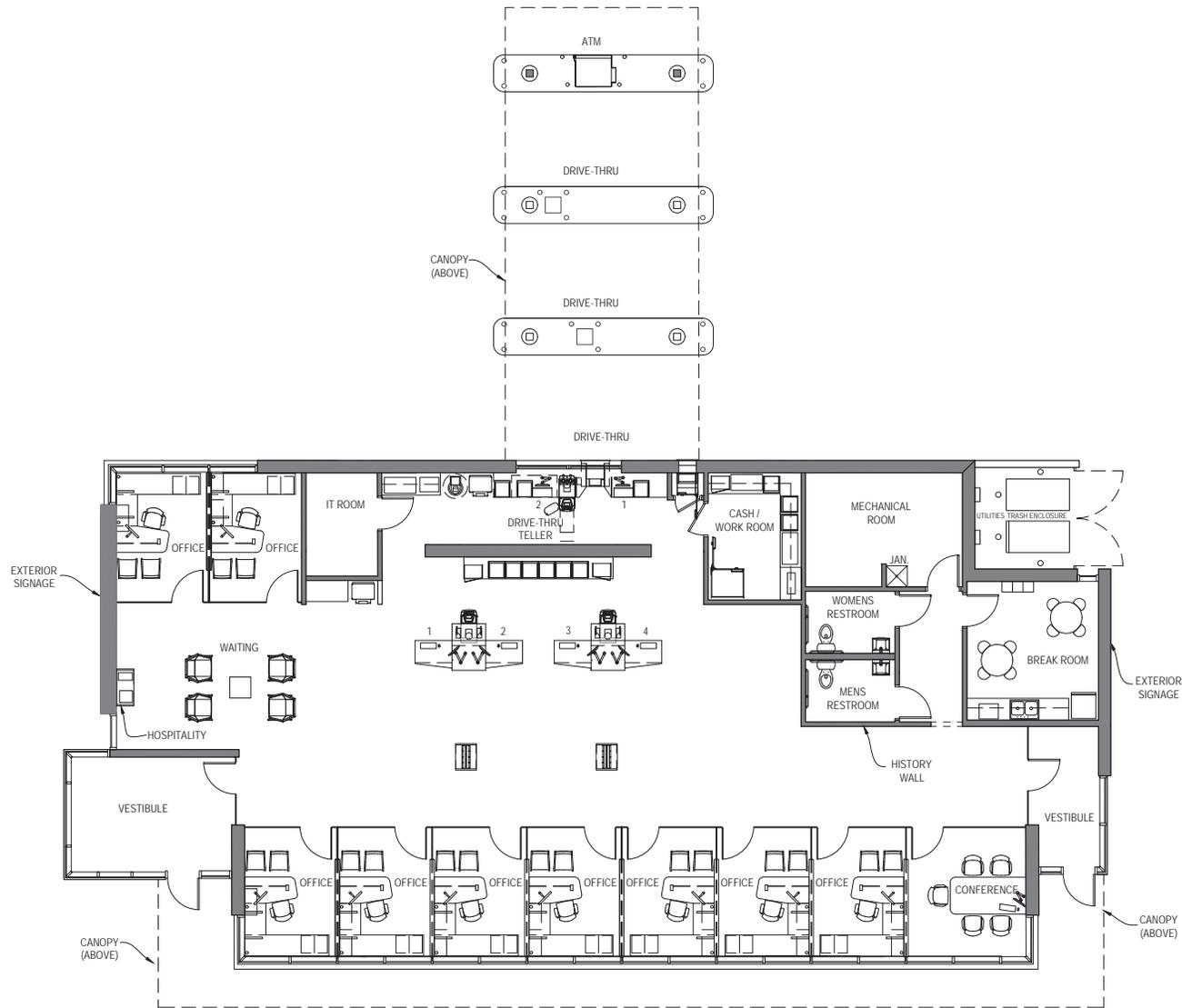


6 PERENNIAL PLANTING
N.T.S.



SITE PLAN
SCALE: 1" = 40'





FLOOR PLAN
SCALE: 3/32" = 1'-0"

ASSOCIATED BANK - EAU CLAIRE
#88063.03 | SEPTEMBER 25, 2020





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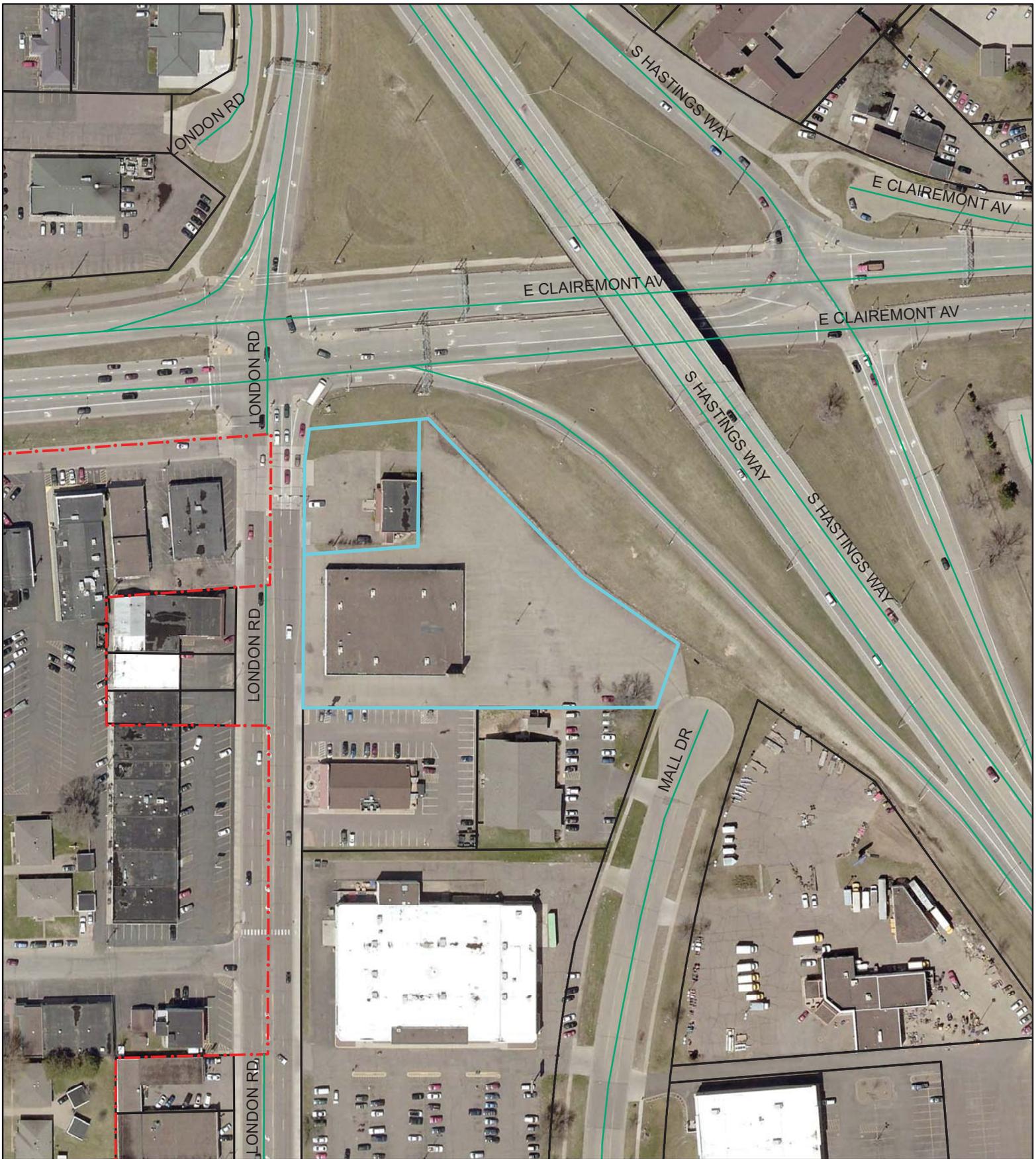
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0 50 100 200 Feet

Aerial Map
Agenda Item: SP-1921 Amd & SP-2021
Address: 2425 & 2403 London Road



--- City Limits



Housing Division

DATE: October 2, 2020

TO: City Planner, Department of Community Development
Plan Commission

FROM: Keith Johnathan, Housing Division Manager

RE: Request Site Approval for Housing Authority Single Family Home

The Housing Authority requests the Plan Commission's site approval of a single-family home located at 3128 Delbert Rd. This property will be purchased using the Housing Authority's Homeownership Program funds and will be sold to an income eligible household.

The Housing Authority will purchase the property for \$156,000. This home consists of three bedrooms and is in very good condition.

This property will be taken to the Housing Authority Board for approval on October 26, 2020.

The Housing Authority respectfully requests the Plan Commission's site approval of this location.

Attachments: Aerial view of property
Resolution

CITY OF EAU CLAIRE
PLAN COMMISSION

RESOLUTION

WHEREAS, the Housing Authority of the City of Eau Claire desires to acquire one single family home with funding through the U.S. Department of Housing and Urban Development's (HUD) Homeownership Program; and

WHEREAS, the property will be sold to an income eligible household; and

WHEREAS, the Housing Authority desires to acquire the following property for the proposed project:

<u>Address</u>	<u>Bedrooms</u>	<u>Built</u>	<u>City Area</u>	<u>Occupancy Status</u>
3128 Delbert Ln	3	1998	Northside	Vacant

NOW, THEREFORE, BE IT RESOLVED that the Plan Commission of the City of Eau Claire does hereby approve the site for the development of homeownership for the Housing Authority of the City of Eau Claire's Homeownership Program.

Chairman
PLAN COMMISSION

Adopted,

_____, 2020

